

West Chester

— OHIO —

Trustees Meeting Agenda October 10, 2023

Trustees

Ann Becker, Chair
Lee Wong
Mark S. Welch

Fiscal Officer

Bruce Jones
Administrator
Larry D. Burks

5:00 P.M.

Regular Meeting

Mr. Wong

- Convene
- Roll Call
- Pledge

Executive Session

Property, personnel & pending litigation with Legal Counsel

Citizen's Comments

(2 minutes per person limited to a total of 10 minutes)

Mr. Wong

Presentations

None

Mr. Wong

Action Items – For approval by motion

- A. Motion to approve Trustee Meeting Minutes - September 26, 2023
- B. Motion to approve payment of bills - September 18, 2023 through September 29, 2023

Mr. Burks

Requisitions – Greater than \$7,500.00

1. Fire \$ 10,868.60 Vogelpohl Fire Equipment, Inc. - \$10,868.60 - Replace attack line fire hose (CIP# 1545)
2. Police \$ 25,765.81 Toyota Financial Services - \$25,765.81 - Purchase a court-ordered forfeited vehicle
3. PIE \$ 30,000.00 Magnetic Marketing LLC - \$30,000.00 - Purchase banners for Union Centre Boulevard Landscape District (CIP# 1723)
4. PIE \$ 18,624.00 iVideo Technologies LLC - \$18,624.00 - Upgrade Township Hall audio equipment (CIP# 1708)
5. Services \$ 52,480.00 National Shotcrete LLC dba National Gunite - \$52,480.00 - Repair line storm water pipe on Olympia Fields Ct (CIP# 1620)

October 10, 2023

- 6. Services \$ 16,962.00 Benchmark Land Management LLC - \$16,962.00 - Maintain UCB DDI infield landscaped areas
- 7. Services \$ 14,240.28 Emcor Facilities Services, Inc - \$14,240.28 - Repair sprinkler riser room at Safety Services Center

Mr. Burks Personnel Items

- 8. Fire Hire Diana Bussell to the position of Administrative Professional I effective October 2, 2023 at the hourly rate of \$18.00.

Mr. Burks Business Items

- 9. Adm Motion to approve agreement between West Chester Township Board of Trustees and First Financial Bank for depository and banking services; and, authorize Township Administrator to make non-substantive changes with Law Director approval and execute said agreement
- 10. Police Motion to approve agreement between West Chester Township Board of Trustees and The City of Oxford for participation in the Butler County OVI Task Force; and, authorize Township Administrator to make non-substantive changes with Law Director approval and execute said agreement
- 11. Police Motion not to object to a NEW C1, C2 liquor permit for Kuhlmanns Fine Meats & Market LLC, 9480 Cincinnati Columbus Road

First Reading of Resolutions & Reading of Emergency Resolutions

Citizen's Comments

Second Reading & Vote on Pending Resolutions & Vote on Emergency Resolutions

- 12 2nd Reading Resolution 37-2023 approving Zoning Map Amendment and Preliminary Development Plan for Case #ZMA05-23-West Chester Plaza - Kroger Marketplace

Discussion Items & Elected Official Comments

Adjourn

AGENDA ITEM COVER SHEET



Trustee Meeting Date:	Agenda Item Type:
October 10, 2023	Action Item
Submitted By:	
Larry D. Burks, Township Administrator	

Motion:
Motion to approve Trustee Meeting Minutes - September 26, 2023

Background:

Finance	Budgeted Item:	N/A;		
	CIP #:			
	TIF Info:			
	Purchase Order:		Total Encumbrance:	\$.00

Record of Proceedings: September 26, 2023 West Chester Township Board of Trustees - Regular Meeting

Convene: Chairperson Becker convened the meeting at 5:00 p.m.

Roll Call: Mrs. Becker and Mr. Welch responded. Mr. Wong was absent.

Pledge of Allegiance: Repeated by those present.

At 5:00 p.m., Mrs. Becker motioned to recess the Regular meeting and go into Executive Session with legal counsel for the purpose of: (1) Conferencing with an attorney for the Township concerning disputes involving the Township that are the subject of pending or imminent court action. O.R.C. 121.22(G)(3), and (2) To consider the purchase of property for public purposes, the sale of property by competitive bid, or the sale or other disposition of unneeded, obsolete, or unfit-for-use property in accordance with section 505.10 of the Revised Code. O.R.C. 121.22(G)(2). Motion seconded by Mr. Welch. Mr. Becker said the Board would return to adjourn the Executive Session and to resume the Regular meeting. Discussion: none. **Motion carried.**

Mrs. Becker declared the meeting in recess.

Post Executive Session/ Adjournment

MOTION made at 6:00 p.m. by Mrs. Becker to adjourn the Executive Session and resume the September 26, 2023. Regular meeting, seconded by Mr. Welch. Discussion: none. **Motion carried.**

Citizen's Comments

David Corfman, 7568 Kirkwood Drive, reviewed attendance by members of our Zoning Commission, noted significant absences and suggested, for the sake of consistency, that some of them be replaced due to poor attendance.

Presentations

Aaron Wiegand, Community Development Director, explained the new online permit submittal process which will go online October 2nd, 2023.

Rick Prinz, Fire Department Chief, recognized Fire Prevention Week.

Action Items – For Approval by Motion

MOTION made by Mrs. Becker, seconded by Mr. Welch, to approve the Trustee Meeting Minutes for September 12, 2023. Discussion: none. **Motion carried.**

MOTION made by Mrs. Becker, seconded by Mr. Welch, to approve payment of bills - September 4, 2023 through September 15, 2023. Discussion: none. **Motion carried.**

Mr. Burks submitted the following requisitions greater than \$7,500:

Requisitions – Greater than \$7,500.00

1. Adm \$50,569.28 Frost Brown Todd LLC - Legal Services through August 31, 2023 (various departments)
2. CIT \$99,760.15 CentralSquare Technologies LLC - Renew annual license and support for public safety software
3. CIT \$18,135.00 Environmental Systems Research Institute, Inc. - Purchase advance level license
4. Fire \$50,850.00 McCluskey Chevrolet, Inc. - Purchase 2024 Chevrolet Silverado (CIP# 1542)
5. Fire \$17,278.00 Tri-State Public Safety - Upfit 2024 Silverado (CIP# 1542)
6. Fire \$12,645.00 Geargrid Lockers LLC - Purchase gear lockers for Station 72 (CIP# 1681)
7. Police \$12,752.00 Aardvark - Purchase KBT breaching tool (CIP# 1859)
8. Services \$99,380.00 MC Equipment LLC - Upfit 2023 Ford F350 sign truck (CIP# 1867)
9. Services \$12,731.00 Landscape Structures, Inc. –Replace swing set on east side of Keehner Park

MOTION made by Mrs. Becker, seconded by Mr. Welch, to approve payment of requisitions 1 through 9. Discussion: Services Director Hindupur responded to a question about the freight cost associated with item #9, saying he would get back with the Trustees on the matter. He also responded to a question about a master plan for township assets. **Motion carried.**

Personnel Items

Mr. Burks introduced the Personnel Items consisting of, (1) accepting various employee resignations per attached report, and (2) hiring James Sawyer to the position of Laborer Operator effective September 20, 2023 at the hourly rate of \$19.94. These were identified on the agenda as agenda Items 10 and 11 respectively.

MOTION made by Mr. Welch, to approve agenda Items 10 and 11, seconded by Mrs. Becker. Discussion: Mrs. Becker welcomed Mr. Sawyer. **Motion carried.**

Business Items

MOTION made by Mr. Welch that, having reviewed the staff report and affidavit, we declare the properties listed on The West Chester Board of Trustees agenda dated September 26, 2023 to be a public nuisance as authorized by the Ohio Revised Code.

Staff is directed to cause removal of the nuisances identified, and monitor this property for 90 days to require continued compliance. An administrative charge of 25% shall be added to the contractor fee for this property. Motion seconded by Mrs. Becker. Discussion: none. **Motion carried.** (Fiscal Officer Note: the listed property was 8212 Chestnut Hill Court.)

MOTION made by Mrs. Becker, seconded by Mr. Welch, to authorize Township Administrator to accept Ohio Body-Worn Camera Grant if awarded.

Discussion: none. **Motion carried.**

MOTION made by Mrs. Becker, seconded by Mr. Welch, to not object to a new D1 liquor permit for GENKI2 Inc., 7244 Outfitters Way.

Discussion: none. **Motion carried.**

MOTION made by Mrs. Becker, seconded by Mr. Welch, to approve Cooperative Agreement between West Chester Township Board of Trustees and Butler County Engineer's Office for roundabout at Cox Road and Kingsgate Way not to exceed \$25,000.00; and, authorize Township Administrator to make non-substantive changes with Law Director approval, and execute said agreement. Discussion: The Trustees both expressed favorably to the agreement. **Motion carried.**

First Reading of Resolutions & Reading of Emergency Resolutions

Mr. Burks read Emergency Resolution 39-2023 accepting the amounts and rates as determined by the Butler County Budget Commission and authorizing the necessary tax levies and certifying them to the Butler County Auditor and declaring an emergency and dispensing with the second reading.

MOTION made by Mrs. Becker, seconded by Mr. Welch, to declare Resolution No. 39-2023 an emergency and dispense with the second reading. Discussion: none. **Motion carried.**

Citizen's Comments

There were no citizen's comments.

Second Reading & Vote on Pending Resolutions & Vote on Emergency Resolutions

MOTION made by Mrs. Becker, seconded by Mr. Welch, to approve Resolution No. 39-2023. Discussion: none. **Motion carried.**

MOTION made by Mrs. Becker, seconded by Mr. Welch, to continue the Second Reading of Case ZMA 05-2023, West Chester Plaza-Kroger to October 10, 2023 Regular Board meeting of the West Chester Board of Trustees. Discussion: none. **Motion carried.**

Discussion Items & Elected Official Comments

Community Development Director Aaron Wiegand, addressed the citizen comment by Mr. Corfman, saying there was no policy regarding Zoning Commission attendance requirement, adding that was the reason there are alternate members to fill absences. He said residents and applicants are not seeing a disruption in services due to absences. Mrs. Becker noted that there are a lot of applicants for these Board positions.

Mr. Burks expressed appreciation that permitting through Community Development is going online. He also congratulated the Lakota East football team for beating Colerain for the first time in over 20 years.

Adjournment

MOTION made at 6:42 p.m. by Mrs. Becker, seconded by Mr. Welch, to adjourn the September 26th Regular meeting. Discussion: none. **Motion carried.**

Respectfully Submitted,

Approved,

Bruce Jones, Fiscal Officer

Ann Becker, Chairperson

DRAFT

AGENDA ITEM COVER SHEET



Trustee Meeting Date:	Agenda Item Type:
October 10, 2023	Action Item
Submitted By:	
Larry D. Burks, Township Administrator	

Motion:
Motion to approve payment of bills - September 18, 2023 through September 29, 2023

Background:

Finance	Budgeted Item:	N/A;		
	CIP #:			
	TIF Info:			
	Purchase Order:		Total Encumbrance:	\$.00

AP CHECK RECONCILIATION REGISTER

FOR CASH ACCOUNT: 9999-00-0000-10110-000000-000000

FOR: All Except Stale

CHECK #	CHECK DATE	TYPE	VENDOR NAME	UNCLEARED	CLEARED	BATCH	CLEAR DATE
1089	09/18/2023	MANUAL	002837 First Financial Bank Cred	20.00			
	INVOICE NO		ACCOUNT		AMOUNT		
	ONC 8/4/23		2100-FD-FD00-53170-000000-		20.00		
1090	09/18/2023	MANUAL	002837 First Financial Bank Cred	60.00	60.00		
	Costco 8/8/23		2100-FD-FD00-53170-000000-				
1091	09/18/2023	MANUAL	002837 First Financial Bank Cred	355.80	355.80		
	Costco 08/08/23		2100-FD-FD00-54550-VOAMSC-				
1092	09/18/2023	MANUAL	002837 First Financial Bank Cred	355.99	355.99		
	Team Wendy 8/14/23		2100-FD-FD00-54720-000000-				
1093	09/18/2023	MANUAL	002837 First Financial Bank Cred	284.80	284.80		
	Lowe's Hotels 8/1/23		2100-FD-FD00-53410-000000-				
1094	09/18/2023	MANUAL	002837 First Financial Bank Cred	665.12	665.12		
	Natl Emerg 8/8/23		2100-FD-FD00-53410-000000-				
1095	09/18/2023	MANUAL	002837 First Financial Bank Cred	699.00	699.00		
	Intl Assoc 8/9/23		2100-FD-FD00-53410-000000-				
1096	09/18/2023	MANUAL	002837 First Financial Bank Cred	-52.88	-52.88		
	Natl Emerg 8/17/23		2100-FD-FD00-53410-000000-				
1097	09/22/2023	MANUAL	002837 First Financial Bank Cred	25.00	25.00		
	Colwick watson 8/10		2090-PD-PD00-53410-000000-				
1098	09/22/2023	MANUAL	002837 First Financial Bank Cred	25.00	25.00		
	Colwick Dunlevy 8/10		2090-PD-PD00-53410-000000-				
1099	09/22/2023	MANUAL	002837 First Financial Bank Cred	100.00	100.00		
	Mobilcomm 8/11/23		2090-PD-PD00-54550-VOAMSC-				
1100	09/18/2023	MANUAL	002837 First Financial Bank Cred	25.09	25.09		
	Thorntons 8/12/23		2090-PD-PD00-54010-VOAMSC-				
1101	09/22/2023	MANUAL	002837 First Financial Bank Cred	22.97	22.97		
	Thorntons 8/12/23		2090-PD-PD00-54550-VOAMSC-				
1102	09/22/2023	MANUAL	002837 First Financial Bank Cred	25.03	25.03		
	Thorntons 8/12/23		2090-PD-PD00-54550-VOAMSC-				
1103	09/22/2023	MANUAL	002837 First Financial Bank Cred	342.54	342.54		
	Tickets 8/14/23		2090-PD-PD00-53410-000000-				
1104	09/22/2023	MANUAL	002837 First Financial Bank Cred	567.84	567.84		
	Hyatt 8/17/23		2090-PD-PD00-53410-000000-				
1105	09/22/2023	MANUAL	002837 First Financial Bank Cred	567.84			

AP CHECK RECONCILIATION REGISTER

FOR CASH ACCOUNT: 9999-00-0000-10110-000000-000000

FOR: All Except Stale

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	Hyatt 8/17/23		2090-PD-PD00-53410-000000-		567.84		
1106	09/22/2023	MANUAL	002837 First Financial Bank Cred	69.98			
	INVOICE NO		ACCOUNT		AMOUNT		
	Cab Store 8/18/23		2090-PD-PD00-54550-000000-		69.98		
1107	09/22/2023	MANUAL	002837 First Financial Bank Cred	28.95			
	TJMaxx 8/23/23		2090-PD-PD00-56040-000000-		28.95		
1108	09/22/2023	MANUAL	002837 First Financial Bank Cred	26.45			
	Michaels 8/23/23		2090-PD-PD00-56040-000000-		26.45		
1109	09/22/2023	MANUAL	002837 First Financial Bank Cred	20.66			
	UDF 8/3/23		2070-PI-PI00-56030-AFTRHR-		20.66		
1110	09/22/2023	MANUAL	002837 First Financial Bank Cred	5.00			
	8/4/23		2070-PI-PI00-53170-000000-		5.00		
1111	09/22/2023	MANUAL	002837 First Financial Bank Cred	480.00			
	ISSUU 8/8/23		2070-PI-PI00-53170-000000-		480.00		
1112	09/22/2023	MANUAL	002837 First Financial Bank Cred	.85			
	HD 8/8/23		2070-PI-PI00-56030-FARMER-		.85		
1113	09/22/2023	MANUAL	002837 First Financial Bank Cred	11.98			
	UDF 8/17/23		2070-PI-PI00-56030-AFTRHR-		11.98		
1114	09/22/2023	MANUAL	002837 First Financial Bank Cred	2.69			
	UDF 8/19/23		2070-PI-PI00-56030-AFTRHR-		2.69		
1115	09/22/2023	MANUAL	002837 First Financial Bank Cred	2.69			
	UDF 8/19/23		2070-PI-PI00-56030-AFTRHR-		2.69		
1116	09/22/2023	MANUAL	002837 First Financial Bank Cred	35.98			
	Panera 8/20/23		2070-PI-PI00-56030-FARMER-		35.98		
1117	09/22/2023	MANUAL	002837 First Financial Bank Cred	50.00			
	Facebk 8/20/23		2070-PI-PI00-53720-000000-		50.00		
1118	09/22/2023	MANUAL	002837 First Financial Bank Cred	599.88			
	ADOBE 8/22/23		2070-PI-PI00-54830-000000-		599.88		
1119	09/22/2023	MANUAL	002837 First Financial Bank Cred	5.00			
	UDF 8/23/23		2070-PI-PI00-56030-AFTRHR-		5.00		
1120	09/22/2023	MANUAL	002837 First Financial Bank Cred	10.99			
	UDF 8/24/23		2070-PI-PI00-56030-AFTRHR-		10.99		
1121	09/22/2023	MANUAL	002837 First Financial Bank Cred	2,382.00			
	Quitefrankly 8/28/23		1010-AD-HR00-56040-000000-		2,382.00		

AP CHECK RECONCILIATION REGISTER

FOR CASH ACCOUNT: 9999-00-0000-10110-000000-000000

FOR: All Except Stale

CHECK #	CHECK DATE	TYPE	VENDOR NAME	UNCLEARED	CLEARED	BATCH	CLEAR DATE
1122	09/22/2023	MANUAL	002837 First Financial Bank Cred	12.99			
			INVOICE NO	ACCOUNT	AMOUNT		
			Town Park 8/7/23	2090-PD-PD00-53410-000000-	12.99		
1123	09/22/2023	MANUAL	002837 First Financial Bank Cred	18.17			
			Parkwhiz 8/9/23	2090-PD-PD00-53410-000000-	18.17		
1124	09/22/2023	MANUAL	002837 First Financial Bank Cred	12.99			
			Towne Park 8/8/23	2090-PD-PD00-53410-000000-	12.99		
1125	09/22/2023	MANUAL	002837 First Financial Bank Cred	6.60			
			Parkmobile 8/10/23	2090-PD-PD00-53410-000000-	6.60		
1126	09/22/2023	MANUAL	002837 First Financial Bank Cred	30.71			
			DFW 8/10/23	2090-PD-PD00-53410-000000-	30.71		
1127	09/22/2023	MANUAL	002837 First Financial Bank Cred	12.99			
			Towne Park 8/9/23	2090-PD-PD00-53410-000000-	12.99		
1128	09/22/2023	MANUAL	002837 First Financial Bank Cred	8.47			
			Parkwhiz 8/10/23	2090-PD-PD00-53410-000000-	8.47		
1129	09/22/2023	MANUAL	002837 First Financial Bank Cred	888.20			
			Hyatt 8/10/23	2090-PD-PD00-53410-000000-	888.20		
1130	09/22/2023	MANUAL	002837 First Financial Bank Cred	12.99			
			Towne Park 8/10/23	2090-PD-PD00-53410-000000-	12.99		
1131	09/22/2023	MANUAL	002837 First Financial Bank Cred	55.00			
			Cinti Arpt 8/10/23	2090-PD-PD00-53410-000000-	55.00		
1132	09/22/2023	MANUAL	002837 First Financial Bank Cred	768.34			
			HolidayInn 8/17/23	2090-PD-PD00-53410-000000-	768.34		
1133	09/22/2023	MANUAL	002837 First Financial Bank Cred	88.87			
			walmart 8/2/23	1010-CD-CD00-54540-000000-	88.87		
1134	09/22/2023	MANUAL	002837 First Financial Bank Cred	125.23			
			chickfila 8/15/23	1010-CD-CD00-54530-000000-	125.23		
1135	09/22/2023	MANUAL	002837 First Financial Bank Cred	120.75			
			Jimmyjohns 8/18/23	1010-CD-CD00-54530-000000-	120.75		
1137	09/22/2023	MANUAL	002837 First Financial Bank Cred	87.05			
			Subway 8/21/23	1010-CD-CD00-54530-000000-	87.05		
1138	09/22/2023	MANUAL	002837 First Financial Bank Cred	10.00			
			GoToCom 8/21/23	1010-CD-CD00-55020-000000-	10.00		

AP CHECK RECONCILIATION REGISTER

FOR CASH ACCOUNT: 9999-00-0000-10110-000000-000000

FOR: All Except Stale

CHECK #	CHECK DATE	TYPE	VENDOR NAME	UNCLEARED	CLEARED	BATCH	CLEAR DATE
1139	09/22/2023	MANUAL	002837 First Financial Bank Cred	118.18			
	INVOICE NO		ACCOUNT		AMOUNT		
	Cabstore 8/24/23		1010-CD-CD00-56040-000000-		118.18		
1140	09/22/2023	MANUAL	003159 Charter Communications	384.43			
	0198858090823		2070-PI-PI00-55060-000000-		384.43		
1141	09/22/2023	MANUAL	000319 Home Depot	52.43			
	5012674		1010-PK-PK04-53530-000000-		52.43		
1142	09/22/2023	MANUAL	000319 Home Depot	65.62			
	1011988		1010-PK-PK04-53530-000000-		65.62		
1143	09/22/2023	MANUAL	000319 Home Depot	226.82			
	623962		2100-FD-FD00-54550-000000-		226.82		
1144	09/22/2023	MANUAL	000319 Home Depot	117.94			
	1612521		2100-FD-FD00-54550-000000-		117.94		
1145	09/22/2023	MANUAL	000319 Home Depot	269.76			
	511539		2100-FD-FD00-54550-000000-		269.76		
1146	09/22/2023	MANUAL	000319 Home Depot	46.79			
	2011819		1010-PK-PK04-53530-000000-		46.79		
1147	09/22/2023	MANUAL	002837 First Financial Bank Cred	41.58			
	Venturas 8/19/23		2100-FD-FD00-53410-000000-		41.58		
1148	09/22/2023	MANUAL	002837 First Financial Bank Cred	40.92			
	Ott House 8/24/23		2100-FD-FD00-53410-000000-		40.92		
1149	09/22/2023	MANUAL	002837 First Financial Bank Cred	13.36			
	D&G Pizza 8/24/23		2100-FD-FD00-53410-000000-		13.36		
1150	09/22/2023	MANUAL	002837 First Financial Bank Cred	.42			
	Interest 8/30/23		1010-AD-AD00-56050-000000-		.42		
1151	09/22/2023	MANUAL	003159 Charter Communications	86.05			
	0198833 09/14/23		2090-DS-DS00-55060-000000-		43.03		
	0198833 09/14/23		2100-DS-DS00-55060-000000-		43.02		
167317	09/18/2023	PRINTED	002621 FBI National Academy Asso	325.00			
	9/15/23		2250-PD-PD00-53410-000000-		325.00		
167318	09/18/2023	VOID	001558 Freelance Service WCCTV	.00			
	29		2070-PI-PI00-53190-000000-		912.50		
167319	09/18/2023	PRINTED	000353 John Dsuban Spring Servic	1,783.02			
	0155570-IN		2100-FD-FD00-53510-000000-		1,783.02		

AP CHECK RECONCILIATION REGISTER

FOR CASH ACCOUNT: 9999-00-0000-10110-000000-000000

FOR: All Except Stale

CHECK #	CHECK DATE	TYPE	VENDOR NAME	UNCLEARED	CLEARED	BATCH	CLEAR DATE
167320	09/18/2023	PRINTED	002282 K&M Truck, Trailer & Auto	390.16			
	INVOICE NO		ACCOUNT		AMOUNT		
	333-74580		2100-FD-FD00-53510-000000-		390.16		
167321	09/18/2023	PRINTED	000457 Noel's Plumbing Supply In	82.92			
	0200625-IN		2100-FD-FD00-53530-000000-		82.92		
167322	09/22/2023	PRINTED	000615 Altafiber	300.87			
	682-2529 Sep 23		2100-FD-FD00-55010-000000-		125.73		
	779-0071 Sep 23		1010-AD-AD00-55010-000000-		175.14		
167323	09/22/2023	PRINTED	001358 Dana Moody	119.00			
	VEH 2071 Window Tint		2090-PD-PD00-54550-000000-		119.00		
167324	09/22/2023	PRINTED	000093 Butler County United Way	240.00			
	3rd Qtr 2023		1010-00-0000-22720-000000-000000		120.00		
	3rd Qtr 2023		2090-00-0000-22720-000000-000000		120.00		
167325	09/22/2023	PRINTED	004008 Butler County Water & Sew	1,476.40			
	2000563 Sep 23		1010-AD-AD00-55040-000000-		50.73		
	2000563 Sep 23		2070-PI-PI00-55040-000000-		6.92		
	2000564 Sep 23		1010-AD-AD00-55030-000000-		24.02		
	2000564 Sep 23		2050-CE-CE00-55030-000000-		8.01		
	2000564 Sep 23		2070-PI-PI00-55030-000000-		3.13		
	2000564 Sep 23		2090-DS-DS00-55030-000000-		10.97		
	2000564 Sep 23		2100-DS-DS00-55030-000000-		10.97		
	2000564 Sep 23		2100-FD-FD00-55030-000000-		116.99		
	2002286 Sep 23		2100-FD-FD00-55030-000000-		78.26		
	2006330 Sep 23		2100-FD-FD00-55030-000000-		81.52		
	2013795 Sep 23		1010-PK-PK04-55030-000000-		53.02		
	2013796 Sep 23		1010-PK-PK04-55030-000000-		8.64		
	2014474 Sep 23		2100-FD-FD00-55030-000000-		109.00		
	2027757 Sep 23		1010-AD-AD00-55030-000000-		27.43		
	2027757 Sep 23		1010-CD-CD00-55030-000000-		18.28		
	2027757 Sep 23		2030-RD-RD00-55030-000000-		201.13		
	2027757 Sep 23		2090-PD-PD00-55030-000000-		667.38		
167326	09/22/2023	PRINTED	004098 David Pickering	1,293.80			
	Pickering 08/30/23		2100-FD-FD00-53410-000000-		1,293.80		
167327	09/22/2023	PRINTED	000641 Duke Energy	4,717.00			
	FRS-0048132		5070-LT-LT03-55040-000000-		4,717.00		
167328	09/22/2023	PRINTED	001334 Duke Energy	78.22			
	910134027453 Sep 23		1010-LT-LT00-55040-000000-		78.22		
167329	09/22/2023	PRINTED	004155 Dustin Parrett	158.60			
	Parrett 08/26/23		2090-PD-PD00-53410-000000-		158.60		
167330	09/22/2023	PRINTED	000585 Grainger Inc.	186.95			

AP CHECK RECONCILIATION REGISTER

FOR CASH ACCOUNT: 9999-00-0000-10110-000000-000000

FOR: All Except Stale

CHECK #	CHECK DATE	TYPE	VENDOR NAME	UNCLEARED	CLEARED	BATCH	CLEAR DATE
	9831766069		2090-PD-PD00-54010-000000-		144.25		
	INVOICE NO		ACCOUNT	AMOUNT			
	9836089640		2010-RD-RD01-54010-000000-		5.04		
	9835041907		1010-PK-PK00-54550-000000-		37.66		
167331	09/22/2023	PRINTED	001658 Institute of Management A 1013676044 1010-AD-AD00-53170-000000-	290.00	290.00		
167332	09/22/2023	PRINTED	004050 Kellie Byrd Byrd 09/13/23 1010-AD-AD00-53410-000000- Byrd 09/15/23 1010-AD-HR00-56040-000000-	629.05	540.15 88.90		
167333	09/22/2023	PRINTED	004130 Knapheide Truck Equipment CT8767 2010-RD-RD00-53510-000000-	1,920.00	1,920.00		
167334	09/22/2023	PRINTED	004158 Mark Weingartner weingartner 09/18/23 2090-PD-PD00-53410-000000-	205.77	205.77		
167335	09/22/2023	PRINTED	002690 Medmutual Life 032123560-8 2040-RD-RD00-52220-000000- 032123560-8 2050-CE-CE00-52220-000000- 032123560-8 2090-PD-PD00-52220-000000- 032123560-8 2100-FD-FD00-52220-000000- 032123560-8 2110-EM-EM00-52220-000000- 032123560-8 2070-PI-PI00-52220-000000- 032123560-8 1010-AD-AD02-52220-000000- 032123560-8 1010-AD-AD03-52220-000000- 032123560-8 1010-CD-CD00-52220-000000- 032123560-8 1010-PK-PK00-52220-000000- 032123560-8 2090-DS-DS00-52220-000000- 032123560-8 2100-DS-DS00-52220-000000- 032123560-8 5080-RD-RD00-52220-000000- 032123560-8 1010-SV-SV00-52220-000000- 032123560-8 1010-AD-AD00-52220-000000- 032123560-8 2040-RD-RD00-52220-000000- 032123560-8 2090-PD-PD00-52220-000000- 032123560-8 2100-FD-FD00-52220-000000- 032123560-8 2110-EM-EM00-52220-000000-	2,067.05	136.00 16.00 766.79 664.00 40.00 40.00 18.40 5.20 61.20 8.00 75.74 40.79 8.00 40.00 122.93 6.00 6.00 6.00 6.00		
167336	09/22/2023	PRINTED	002776 Mike Castrucci Ford Inc CM137593 2050-CE-CE00-53510-000000- CM134811 2010-RD-RD00-53510-000000- 141120 2090-PD-PD00-53510-000000- 141021 2090-PD-PD00-53510-000000- 141077 2090-PD-PD00-53510-000000- 141131 2090-PD-PD00-53510-000000- 141158 2090-PD-PD00-53510-000000- 140914 2090-PD-PD00-53510-000000- 141240 2090-PD-PD00-53510-000000- 141287 2090-PD-PD00-53510-000000-	2,330.16	-1,500.00 -60.00 2,429.33 27.00 526.96 39.60 380.28 187.46 207.78 91.75		

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CHECK #	CHECK DATE	TYPE	VENDOR NAME	UNCLEARED	CLEARED	BATCH	CLEAR DATE
167337	09/22/2023	PRINTED	000755 Ohio Public Employees Def	26,404.20			
			INVOICE NO	ACCOUNT	AMOUNT		
			Oh Dfrd 09/22/23	1010-00-0000-22520-000000-000000	4,245.00		
			Oh Dfrd 09/22/23	2090-00-0000-22520-000000-000000	13,083.52		
			Oh Dfrd 09/22/23	2100-00-0000-22520-000000-000000	6,720.68		
			Oh Dfrd 09/22/23	2110-00-0000-22520-000000-000000	200.00		
			Oh Dfrd 09/22/23	2040-00-0000-22520-000000-000000	1,860.00		
			Oh Dfrd 09/22/23	2070-00-0000-22520-000000-000000	295.00		
167338	09/22/2023	PRINTED	004082 Randall Hanifen	29.33			
			Hanifen 09/07/23	2100-FD-FD00-53410-000000-		29.33	
167339	09/22/2023	PRINTED	001329 Security Benefit Group	9,795.00			
			611021 09/22/23	1010-00-0000-22520-000000-000000	1,000.00		
			611021 09/22/23	2090-00-0000-22520-000000-000000	1,913.75		
			611021 09/22/23	2100-00-0000-22520-000000-000000	5,743.75		
			611021 09/22/23	2110-00-0000-22520-000000-000000	693.75		
			611021 09/22/23	2040-00-0000-22520-000000-000000	243.75		
			611021 09/22/23	5080-00-0000-22520-000000-000000	200.00		
167340	09/22/2023	PRINTED	003835 Tyler Technologies Inc	9,128.00			
			045-429628	1010-AD-AD00-54820-000000-	5,075.17		
			045-429628	1010-CD-CD00-54820-000000-	155.18		
			045-429628	2010-RD-RD00-54820-000000-	365.12		
			045-429628	2070-PI-PI00-54820-000000-	82.15		
			045-429628	2090-DS-DS00-54820-000000-	136.92		
			045-429628	2090-PD-PD00-54820-000000-	1,533.50		
			045-429628	2100-DS-DS00-54820-000000-	136.92		
			045-429628	2100-FD-FD00-54820-000000-	1,597.40		
			045-429628	2110-EM-EM00-54820-000000-	45.64		
167341	09/22/2023	PRINTED	003759 Unifirst Corporation	266.22			
			1340206401	1010-PK-PK00-54550-000000-	32.52		
			1340206401	1010-PK-PK00-54720-000000-	22.04		
			1340206401	1010-SV-SV00-54720-000000-	24.59		
			1340206401	2010-RD-RD00-54550-000000-	15.96		
			1340206401	2010-RD-RD00-54720-000000-	156.66		
			1340206401	2050-CE-CE00-54720-000000-	14.45		
167342	09/22/2023	PRINTED	000577 Verizon wireless	7,189.33			
			9943946287	1010-AD-AD00-55020-000000-	465.47		
			9943946287	1010-CD-CD00-55020-000000-	234.56		
			9943946287	1010-SV-SV00-55020-000000-	162.84		
			9943946287	2030-RD-RD00-55020-000000-	649.39		
			9943946287	2050-CE-CE00-55020-000000-	40.71		
			9943946287	2070-SR-SR00-55020-000000-	51.12		
			9943946287	2070-PI-PI00-55020-000000-	243.06		
			9943946287	2090-DS-DS00-55020-000000-	71.48		
			9943946287	2090-PD-PD00-55020-000000-	2,784.65		

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CHECK #	CHECK DATE	TYPE	VENDOR NAME	UNCLEARED	CLEARED	BATCH	CLEAR DATE
	9943946287		2100-DS-DS00-55020-000000-		71.47		
	INVOICE NO		ACCOUNT	AMOUNT			
	9943946287		2100-FD-FD00-55020-000000-		2,414.58		
167343	09/22/2023	PRINTED	000582 VIP Printing Center	517.50			
	35247 (A)		2090-PD-PD00-53710-000000-		517.50		
400411	09/18/2023	EFT	000016 Aero Oil Company of Cincinnati		591.75	1	09/18/2023
	187468		2100-FD-FD00-54010-000000-		591.75		
400412	09/18/2023	EFT	003337 Airgas, Inc.		210.59	1	09/18/2023
	5501694175		2110-EM-EM00-54550-000000-		210.59		
400413	09/18/2023	EFT	003347 Robert A. Allen		606.25	1	09/18/2023
	035		2070-PI-PI00-53190-000000-		606.25		
400414	09/18/2023	EFT	003174 Amazon Fullfillment Servi		47.42	1	09/18/2023
	1QW9-4X7M-QDP7		2100-FD-FD00-53510-000000-		47.42		
400415	09/18/2023	EFT	001681 APCO International, Inc.		701.25	1	09/18/2023
	922025		2090-DS-DS00-53410-000000-		350.63		
	922025		2100-DS-DS00-53410-000000-		350.62		
400416	09/18/2023	EFT	000681 Best One Tire & Service o		375.15	1	09/18/2023
	5010026571		2100-FD-FD00-53510-000000-		375.15		
400417	09/18/2023	EFT	004135 Desert Diamond Industries		1,118.00	1	09/18/2023
	INV-0006072		2100-FD-FD00-54550-000000-		1,118.00		
400418	09/18/2023	EFT	000250 Extermital Termite & Pest		265.00	1	09/18/2023
	894336		2100-FD-FD00-55060-000000-		35.00		
	906260		2100-FD-FD00-55060-000000-		30.00		
	916592		2100-FD-FD00-55060-000000-		90.00		
	916673		2100-FD-FD00-55060-000000-		35.00		
	916628		2100-FD-FD00-55060-000000-		45.00		
	916631		2100-FD-FD00-55060-000000-		30.00		
400419	09/18/2023	EFT	004148 First Arriving IO Inc		3,455.84	1	09/18/2023
	2144		2100-FD-FD00-53190-000000-		3,455.84		
400420	09/18/2023	EFT	000277 Galls, LLC		5,121.38	1	09/18/2023
	025165202		2100-FD-FD00-54720-000000-		75.77		
	025165311		2100-FD-FD00-54720-000000-		66.66		
	025165792		2100-FD-FD00-54720-000000-		131.07		
	025167523		2100-FD-FD00-54720-000000-		23.39		
	0251693565		2100-FD-FD00-54720-000000-		25.79		
	025171884		2100-FD-FD00-54720-000000-		55.76		
	025171889		2100-FD-FD00-54720-000000-		59.84		
	025185482		2100-FD-FD00-54720-000000-		114.99		
	025197715		2100-FD-FD00-54720-000000-		85.88		

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CHECK #	CHECK DATE	TYPE	VENDOR NAME	UNCLEARED	CLEARED	BATCH	CLEAR DATE
	025206131		2100-FD-FD00-54720-000000-		130.00		
	INVOICE NO		ACCOUNT		AMOUNT		
	025211142		2100-FD-FD00-54720-000000-		132.71		
	025218177		2100-FD-FD00-54720-000000-		66.54		
	025218327		2100-FD-FD00-54720-000000-		156.12		
	025228758		2100-FD-FD00-54720-000000-		70.00		
	025229091		2100-FD-FD00-54720-000000-		113.06		
	025229092		2100-FD-FD00-54720-000000-		169.41		
	025229425		2100-FD-FD00-54720-000000-		133.34		
	025240787		2100-FD-FD00-54720-000000-		61.21		
	025241141		2100-FD-FD00-54720-000000-		69.97		
	025241827		2100-FD-FD00-54720-000000-		125.74		
	025241848		2100-FD-FD00-54720-000000-		148.92		
	025253714		2100-FD-FD00-54720-000000-		1,649.96		
	025254568		2100-FD-FD00-54720-000000-		61.24		
	025259574		2100-FD-FD00-54720-000000-		114.80		
	025300218		2100-FD-FD00-54720-000000-		26.99		
	025300219		2100-FD-FD00-54720-000000-		22.12		
	025320539		2100-FD-FD00-54720-000000-		764.71		
	025320572		2100-FD-FD00-54720-000000-		131.79		
	025165284		2100-FD-FD00-54720-000000-		446.08		
	025211760		2100-FD-FD00-54720-000000-		-112.48		
400421	09/18/2023	EFT	003447 Heritage Fire Equipment L 2100-FD-FD00-53510-000000-		62.31	1	09/18/2023
	9401				62.31		
400422	09/18/2023	EFT	002441 Menard, Inc. 2100-FD-FD00-53530-000000-		22.99	1	09/18/2023
	68484				22.99		
400423	09/18/2023	EFT	000447 Murphy Supply Company 2100-FD-FD00-54550-000000-		1,040.37	1	09/18/2023
	208773				1,040.37		
400424	09/18/2023	EFT	000505 Rumpke of Ohio Inc. 2100-FD-FD00-55060-000000-		281.87	1	09/18/2023
	0341423				74.05		
	0244438		2100-FD-FD00-55060-000000-		65.83		
	0371918		2100-FD-FD00-55060-000000-		68.09		
	0340170		2100-FD-FD00-55060-000000-		73.90		
400425	09/18/2023	EFT	003189 outdoor Home Services Ho1 2100-FD-FD00-53530-000000-		248.14	1	09/18/2023
	182517574				248.14		
400426	09/18/2023	EFT	003680 wex Inc 2100-FD-FD00-54710-000000-		9,213.61	1	09/18/2023
	91084104				4,393.67		
	91084104		2110-EM-EM00-54710-000000-		4,819.94		
400427	09/22/2023	EFT	000002 A & A Safety, Inc. 1010-AD-AD00-54550-EMGTLR-	2,750.00	504.00		
	195289		2010-RD-RD00-54010-000000-		2,246.00		
	195289						
400428	09/22/2023	EFT	001532 A-Plus Concrete & Excavat	199.00			

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CHECK #	CHECK DATE	TYPE	VENDOR NAME	UNCLEARED	CLEARED	BATCH	CLEAR DATE
	10900		2050-CE-CE00-54550-000000-		199.00		
400429	09/22/2023	EFT	000012 ADP Inc.	4,649.22			
	INVOICE NO		ACCOUNT		AMOUNT		
	641856741		1010-AD-AD00-53190-000000-		228.38		
	641856741		1010-CD-CD00-53190-000000-		163.13		
	641856741		1010-AD-AD02-53190-000000-		48.94		
	641856741		1010-PK-PK00-53190-000000-		48.94		
	641856741		1010-AD-AD03-53190-000000-		16.31		
	641856741		1010-SV-SV00-53190-000000-		65.25		
	641856741		2040-RD-RD00-53190-000000-		305.87		
	641856741		2050-CE-CE00-53190-000000-		48.94		
	641856741		2070-PI-PI00-53190-000000-		114.19		
	641856741		2090-DS-DS00-53190-000000-		146.82		
	641856741		2090-PD-PD00-53190-000000-		1,610.91		
	641856741		2100-DS-DS00-53190-000000-		146.82		
	641856741		2100-FD-FD00-53190-000000-		1,578.29		
	641856741		2110-EM-EM00-53190-000000-		93.80		
	641856741		5080-RD-RD00-53190-000000-		32.63		
400430	09/22/2023	EFT	003800 ADW Acquisitions LLC	119.96			
	18126435		2090-PD-PD00-53510-000000-		151.96		
	18087816		2090-PD-PD00-53510-000000-		-16.00		
	18094323		2090-PD-PD00-53510-000000-		-16.00		
400431	09/22/2023	EFT	002422 AFSCME Ohio Council 8, Lo	451.35			
	09/22/23	Dues	1010-00-0000-22510-000000-000000		53.10		
	09/22/23	Dues	2090-00-0000-22510-000000-000000		13.26		
	09/22/23	Dues	2100-00-0000-22510-000000-000000		13.28		
	09/22/23	Dues	2110-00-0000-22510-000000-000000		13.28		
	09/22/23	Dues	2040-00-0000-22510-000000-000000		305.33		
	09/22/23	Dues	5080-00-0000-22510-000000-000000		26.55		
	09/22/23	Dues	2050-00-0000-22510-000000-000000		26.55		
400432	09/22/2023	EFT	003174 Amazon Fullfillment Servi	1,259.92			
	1X1R-1FDQ-GJWQ		1010-PK-PK04-54550-000000-		519.28		
	1GW9-D9YV-TG3Y		2090-PD-PD00-54010-000000-		465.96		
	19QD-D7PC-CCDF		2090-PD-PD00-54010-000000-		274.68		
400433	09/22/2023	EFT	001741 Clark Equipment Company	16,930.56			
	3502171		2030-RD-RD00-57050-000000-		16,930.56		
400434	09/22/2023	EFT	003239 Delta Denta	18,412.15			
	CNS0001357033		1010-00-0000-22230-000000-000000		425.63		
	CNS0001357033		2040-00-0000-22230-000000-000000		215.33		
	CNS0001357033		2050-00-0000-22230-000000-000000		35.59		
	CNS0001357033		2070-00-0000-22230-000000-000000		48.59		
	CNS0001357033		2090-00-0000-22230-000000-000000		1,501.54		
	CNS0001357033		2100-00-0000-22230-000000-000000		1,300.21		
	CNS0001357033		2110-00-0000-22230-000000-000000		114.29		

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			CNS0001357033 5080-00-0000-22230-000000-000000		6.50		
			INVOICE NO ACCOUNT AMOUNT				
			CNS0001357033 2100-00-0000-22240-000000-000000		64.96		
			CNS0001357033 1010-AD-AD00-52230-000000-		996.12		
			CNS0001357033 1010-AD-AD02-52230-000000-		196.10		
			CNS0001357033 1010-AD-AD03-52230-000000-		53.75		
			CNS0001357033 1010-CD-CD00-52230-000000-		291.15		
			CNS0001357033 1010-PK-PK00-52230-000000-		53.75		
			CNS0001357033 1010-SV-SV00-52230-000000-		222.08		
			CNS0001357033 2040-RD-RD00-52230-000000-		861.11		
			CNS0001357033 2050-CE-CE00-52230-000000-		142.35		
			CNS0001357033 2070-PI-PI00-52230-000000-		194.31		
			CNS0001357033 2090-PD-PD00-52230-000000-		5,474.04		
			CNS0001357033 2100-FD-FD00-52230-000000-		4,914.14		
			CNS0001357033 2090-DS-DS00-52230-000000-		531.35		
			CNS0001357033 2100-DS-DS00-52230-000000-		286.11		
			CNS0001357033 2110-EM-EM00-52230-000000-		457.17		
			CNS0001357033 5080-RD-RD00-52230-000000-		25.98		
400435	09/22/2023	EFT	003372 Adam Eckstein	912.50			
	29		2070-PI-PI00-53190-000000-		912.50		
400436	09/22/2023	EFT	000634 Emcor Facilities Services	2,340.48			
	605338A		1010-AD-AD00-53530-000000-		1,072.30		
	596435		1010-AD-AD00-53530-000000-		1,268.18		
400437	09/22/2023	EFT	000250 Extermital Termite & Pest	24.15			
	929819		1010-PK-PK04-53530-000000-		24.15		
400438	09/22/2023	EFT	000148 Finn All Seasons	254.00			
	303142		2010-RD-RD00-54550-IHCLVT-		254.00		
400439	09/22/2023	EFT	002825 First Choice Coffee Servi	520.20			
	284435		2090-PD-PD00-54530-000000-		266.93		
	284434		1010-AD-AD00-54530-000000-		253.27		
400440	09/22/2023	EFT	000754 F.O.P. Lodge #186	1,967.50			
	FOP 186 09/22/23		2090-00-0000-22510-000000-000000		1,967.50		
400441	09/22/2023	EFT	002442 Fox Towing Inc.	380.00			
	250228		2090-PD-PD00-53240-000000-		190.00		
	247468		2090-PD-PD00-53240-000000-		190.00		
400442	09/22/2023	EFT	000273 Frost Brown Todd LLC	27,224.55			
	210387357B		2090-PD-PD00-53110-000000-		1,044.00		
	210387358B		1010-AD-AD00-53110-000000-		126.00		
	210387333		1010-AD-AD00-53110-000000-		17,012.55		
	210387333		2010-RD-RD00-53110-000000-		627.00		
	210387333		2090-PD-PD00-53110-000000-		1,023.00		
	210387333		2100-FD-FD00-53110-000000-		4,653.00		

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CHECK #	CHECK DATE	TYPE	VENDOR NAME	UNCLEARED	CLEARED	BATCH	CLEAR DATE
	210387333		2180-00-0000-53110-000000-		2,739.00		
400443	09/22/2023	EFT	000277 Galls, LLC	1,166.00			
	INVOICE NO		ACCOUNT		AMOUNT		
	BC1954587		2700-PD-PD00-54720-000000-		291.50		
	BC1954588		2700-PD-PD00-54720-000000-		291.50		
	BC1954590		2700-PD-PD00-54720-000000-		291.50		
	BC1954592		2700-PD-PD00-54720-000000-		291.50		
400444	09/22/2023	EFT	000280 Gateway Tire Company Inc. 30-0599619	514.72	514.72		
400445	09/22/2023	EFT	002788 Hightowers Petroleum Co. 95695 94022450963	27,557.27	30,557.27 -3,000.00		
400446	09/22/2023	EFT	003922 Insight Pipe Contracting Pay Request 4	576,765.10	576,765.10		
400447	09/22/2023	EFT	002655 Kimball Midwest 101458361	536.42	536.42		
400448	09/22/2023	EFT	000373 Kleem Inc. 98130 98140	467.50	287.50 180.00		
400449	09/22/2023	EFT	001300 The Kleingers Group, Inc. 070702.040-11	381.06	381.06		
400450	09/22/2023	EFT	003047 Roquemore Enterprises Inc 2021-3866	5,775.00	5,775.00		
400451	09/22/2023	EFT	000410 McGill Smith Punshon Inc. 48351	2,350.00	2,350.00		
400452	09/22/2023	EFT	000447 Murphy Supply Company 209313 209313	1,080.30	768.05 312.25		
400453	09/22/2023	EFT	000456 Nick's Towing 38671	200.00	200.00		
400454	09/22/2023	EFT	000604 Northcoast Products 13158	634.40	634.40		
400455	09/22/2023	EFT	003478 O'Reilly Auto Enterprises 1738-292707 1738-294431 1738-294701 1738-294745	194.79	37.47 10.30 98.32 48.70		

AP CHECK RECONCILIATION REGISTER

FOR CASH ACCOUNT: 9999-00-0000-10110-000000-000000

FOR: All Except Stale

CHECK #	CHECK DATE	TYPE	VENDOR NAME	UNCLEARED	CLEARED	BATCH	CLEAR DATE
400456	09/22/2023	EFT	002852 Principal Financial Group	4,919.72			
			INVOICE NO	ACCOUNT	AMOUNT		
			1040669 Oct 2023	1010-00-0000-22220-000000-000000	634.72		
			1040669 Oct 2023	2090-00-0000-22220-000000-000000	1,982.64		
			1040669 Oct 2023	2100-00-0000-22220-000000-000000	1,728.18		
			1040669 Oct 2023	2110-00-0000-22220-000000-000000	259.20		
			1040669 Oct 2023	2040-00-0000-22220-000000-000000	126.98		
			1040669 Oct 2023	2070-00-0000-22220-000000-000000	188.00		
400457	09/22/2023	EFT	003479 Prudential Retirement Ins	1,370.00			
	003518	09/22/23	2100-00-0000-22520-000000-000000		1,370.00		
400458	09/22/2023	EFT	003265 Multi Service Technology	450.00			
	557-1-105206		2010-RD-RD00-54720-000000-		225.00		
	557-1-105225		2050-CE-CE00-54720-000000-		225.00		
400459	09/22/2023	EFT	000505 Rumpke of Ohio Inc.	877.81			
	3911384		1010-PK-PK00-54550-000000-		150.00		
	3910408		1010-PK-PK00-54550-000000-		727.81		
400460	09/22/2023	EFT	003909 City of Trenton	1,750.00			
	09/16/23	A	2090-PD-PD00-51120-000000-		520.00		
	09/16/23	B	2090-PD-PD00-51120-000000-		60.00		
	09/16/23	C	2090-PD-PD00-51120-000000-		780.00		
	09/16/23	D	2090-PD-PD00-51120-000000-		195.00		
	09/16/23	E	2090-PD-PD00-51120-000000-		195.00		
400461	09/22/2023	EFT	000616 Vance Outdoors, Inc	4,460.00			
	0256214-IN		2620-PD-PD00-57050-000000-		4,460.00		
			140 CHECKS	CASH ACCOUNT TOTAL	793,315.07	23,361.92	

AP CHECK RECONCILIATION REGISTER

		UNCLEARED	CLEARED
140 CHECKS	FINAL TOTAL	793,315.07	23,361.92

** END OF REPORT - Generated by Felicia Krutka **

AP CHECK RECONCILIATION REGISTER

FOR CASH ACCOUNT: 9999-00-0000-10110-000000-000000

FOR: All Except Stale

CHECK #	CHECK DATE	TYPE	VENDOR NAME	UNCLEARED	CLEARED	BATCH	CLEAR DATE
1152	09/29/2023	MANUAL	000319 Home Depot	30.46			
	INVOICE NO		ACCOUNT		AMOUNT		
	13222		1010-PK-PK04-53530-000000-		30.46		
1153	09/29/2023	MANUAL	000319 Home Depot	305.71			
	10113135		1010-PK-PK03-53530-000000-		215.73		
	10113135		1010-PK-PK04-53530-000000-		89.98		
1154	09/29/2023	MANUAL	000319 Home Depot	12.07			
	9013361		1010-SV-SV00-53530-000000-		12.07		
1155	09/29/2023	MANUAL	000319 Home Depot	43.06			
	7013674		1010-SV-SV99-54010-000000-		43.06		
1156	09/27/2023	MANUAL	000319 Home Depot	360.64			
	1970033		1010-AD-AD00-54010-000000-		360.64		
1157	09/29/2023	MANUAL	002837 First Financial Bank Cred	499.00			
	Microsoft 8/15/23		1010-AD-AD00-54830-000000-		75.00		
	Microsoft 8/15/23		1010-CD-CD00-54830-000000-		30.00		
	Microsoft 8/15/23		2010-RD-RD00-54830-000000-		35.00		
	Microsoft 8/15/23		2070-PI-PI00-54830-000000-		10.00		
	Microsoft 8/15/23		2090-DS-DS00-54830-000000-		10.00		
	Microsoft 8/15/23		2090-PD-PD00-54830-000000-		210.00		
	Microsoft 8/15/23		2100-DS-DS00-54830-000000-		10.00		
	Microsoft 8/15/23		2100-FD-FD00-54830-000000-		60.00		
	Microsoft 8/15/23		2110-EM-EM00-54830-000000-		59.00		
1158	09/29/2023	MANUAL	002837 First Financial Bank Cred	-12.99			
	IT FFB Aug Interest		1010-AD-AD00-56050-000000-		-12.99		
1159	09/29/2023	MANUAL	002837 First Financial Bank Cred	-16.98			
	Fire Sta 4 Interest		1010-AD-AD00-56050-000000-		-16.98		
1160	09/29/2023	MANUAL	002837 First Financial Bank Cred	-10.03			
	CS FFB Aug Interest		1010-AD-AD00-56050-000000-		-7.85		
	CS FFB Aug Interest		1010-AD-AD00-56050-000000-		-1.09		
	CS FFB Aug Interest		1010-AD-AD00-56050-000000-		-1.09		
1161	09/29/2023	MANUAL	002837 First Financial Bank Cred	-9.85			
	TC 4 Aug Interest		1010-AD-AD00-56050-000000-		-.42		
	TC 4 Aug Interest		1010-AD-AD00-56050-000000-		-9.43		
167344	09/29/2023	PRINTED	004047 Adam Inskeep	473.76			
	Inskeep 09/13/23 A		2070-PI-PI00-56050-000000-		4.58		
	Inskeep 09/13/23 A		2070-PI-PI00-56080-000000-		14.08		
	Inskeep 09/13/23 B		2070-PI-PI00-53410-000000-		455.10		
167345	09/29/2023	PRINTED	001620 Alt & Witzig Engineering,	750.00			
	oc23096-0823		2190-00-0000-57010-000000-		750.00		

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FOR CASH ACCOUNT: 9999-00-0000-10110-000000-000000

FOR: All Except Stale

CHECK #	CHECK DATE	TYPE	VENDOR NAME	UNCLEARED	CLEARED	BATCH	CLEAR DATE
167346	09/29/2023	PRINTED	000615 Altafiber	558.03			
			INVOICE NO	ACCOUNT	AMOUNT		
			755-3764 Oct 23	2090-PD-PD00-55010-000000-	172.56		
			755-3764 Oct 23	2100-FD-FD00-55010-000000-	172.56		
			755-7700 Oct 23	2100-FD-FD00-55010-000000-	212.91		
167347	09/29/2023	PRINTED	004070 Arun Hindupur	247.07			
			Hindupur 09/15/23	1010-SV-SV00-53170-000000-	222.00		
			Hindupur 09/20/23	1010-SV-SV00-56040-000000-	25.07		
167348	09/29/2023	PRINTED	000092 Butler County Township As	120.00			
			10.19.2023	1010-AD-AD00-53410-000000-	30.00		
			10.19.2023	1010-AD-AD02-53410-000000-	60.00		
			10.19.2023	1010-AD-AD03-53410-000000-	30.00		
167349	09/29/2023	PRINTED	004008 Butler County Water & Sew	564.76			
			2027759 Sep 23	2100-FD-FD00-55030-000000-	105.74		
			2041335 Sep 23	1010-PK-PK13-55030-000000-	54.04		
			2049236 Sep 23	1010-PK-PK11-55030-000000-	88.39		
			2060099 Sep 23	1010-PK-PK03-55030-000000-	109.00		
			2051667 Sep 23	1010-PK-PK12-55030-000000-	207.59		
167350	09/29/2023	PRINTED	004042 Butler Tech & Career Dev	3,460.00			
			175060A	2100-FD-FD00-53410-000000-	3,460.00		
167351	09/29/2023	PRINTED	004009 Cincinnati Bell Any Dista	46.06			
			2323805-09202023	1010-AD-AD00-55010-000000-	5.54		
			2323805-09202023	1010-CD-CD00-55010-000000-	5.53		
			2323805-09202023	1010-PK-PK00-55010-000000-	2.76		
			2323805-09202023	1010-SV-SV00-55010-000000-	2.30		
			2323805-09202023	2030-RD-RD00-55010-000000-	2.30		
			2323805-09202023	2090-PD-PD00-55010-000000-	18.42		
			2323805-09202023	2100-FD-FD00-55010-000000-	9.21		
167352	09/29/2023	PRINTED	003253 Change Healthcare Tech En	11,055.64			
			MD12893	2110-EM-EM00-53190-000000-	11,055.64		
167353	09/29/2023	PRINTED	001334 Duke Energy	27,968.13			
			910117892680 Sep 23	1010-PK-PK04-55040-000000-	92.60		
			910117893186 Sep 23	1010-PK-PK04-55040-000000-	23.27		
			910118689401 Sep 23	1010-PK-PK04-55040-000000-	22.15		
			910119040434 Sep 23	2100-FD-FD00-55040-000000-	1,382.79		
			910127970038 Sep 23	1010-PK-PK14-55040-000000-	42.97		
			910117632260 Sep 23	2100-FD-FD00-55040-000000-	1,347.42		
			910117632301 Sep 23	2100-FD-FD00-55040-000000-	1,331.39		
			910117891655 Sep 23	1010-AD-AD00-55040-000000-	2,877.17		
			910117891655 Sep 23	2070-PI-PI00-55040-000000-	392.35		
			910117891887 Sep 23	1010-AD-AD00-55040-000000-	11.88		
			910117891887 Sep 23	1010-CD-CD00-55040-000000-	7.91		

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FOR: All Except Stale

CHECK #	CHECK DATE	TYPE	VENDOR NAME	UNCLEARED	CLEARED	BATCH	CLEAR DATE
910117891887	Sep 23		2030-RD-RD00-55040-000000-		87.04		
		INVOICE NO	ACCOUNT		AMOUNT		
910117891887	Sep 23		2090-PD-PD00-55040-000000-		288.82		
910117892440	Sep 23		1010-AD-AD00-55040-000000-		84.62		
910117892599	Sep 23		1010-PK-PK03-55040-000000-		30.13		
910117892010	Sep 23		1010-PK-PK03-55040-000000-		163.80		
910117893003	Sep 23		1010-AD-AD00-55040-000000-		1,008.91		
910117893003	Sep 23		2070-PI-PI00-55040-000000-		144.33		
910117893003	Sep 23		2090-DS-DS00-55040-000000-		453.61		
910117893003	Sep 23		2100-DS-DS00-55040-000000-		453.61		
910117893144	Sep 23		1010-PK-PK13-55040-000000-		532.77		
910117893326	Sep 23		1010-PK-PK11-55040-000000-		618.89		
910117893417	Sep 23		1010-LT-LT00-55040-000000-		23.82		
910119396140	Sep 23		2100-FD-FD00-55040-000000-		1,172.28		
910119396231	Sep 23		1010-AD-AD00-55040-000000-		75.79		
910119396231	Sep 23		2050-CE-CE00-55040-000000-		25.13		
910119396231	Sep 23		2070-PI-PI00-55040-000000-		9.82		
910119396231	Sep 23		2090-DS-DS00-55040-000000-		34.55		
910119396231	Sep 23		2100-DS-DS00-55040-000000-		34.55		
910119396231	Sep 23		2100-FD-FD00-55040-000000-		2,529.02		
910119395751	Sep 23		1010-PK-PK12-55040-000000-		1,559.00		
910119396190	Sep 23		2050-CE-CE00-55040-000000-		140.92		
910119661924	Sep 23		2050-CE-CE00-55040-000000-		16.67		
910117892953	Sep 23		1010-AD-AD00-55040-000000-		328.45		
910117892953	Sep 23		1010-CD-CD00-55040-000000-		218.96		
910117892953	Sep 23		2030-RD-RD00-55040-000000-		2,408.59		
910117892953	Sep 23		2090-PD-PD00-55040-000000-		7,992.15		
167354	09/29/2023	PRINTED	004024 Duke Energy	52.14			
	910117891837	Oct 23	5070-LT-LT28-55040-000000-		52.14		
167355	09/29/2023	PRINTED	000256 Fed Ex	83.13			
	8-260-57134		2100-FD-FD00-53730-000000-		32.65		
	8-203-58671		2100-FD-FD00-53730-000000-		16.43		
	8-253-92009		2100-FD-FD00-53730-000000-		34.05		
167356	09/29/2023	PRINTED	000585 Grainger Inc.	43.64			
	9843109118		2010-RD-RD00-53560-000000-		43.64		
167357	09/29/2023	PRINTED	000753 Great American Financial	495.00			
	09/22/23		2090-00-0000-22520-000000-000000		495.00		
167358	09/29/2023	PRINTED	003816 Police On Bikes Inc	300.00			
	Maring, Hess, Hetzer		2090-PD-PD00-53170-000000-		300.00		
167359	09/29/2023	PRINTED	000353 John Dsuban Spring Servic	26.79			
	0155739-IN		2100-FD-FD00-53510-000000-		26.79		
167360	09/29/2023	PRINTED	004051 Larry Burks	31.82			
	Burks 09/26/23		1010-AD-AD00-53410-000000-		31.82		

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FOR CASH ACCOUNT: 9999-00-0000-10110-000000-000000

FOR: All Except Stale

CHECK #	CHECK DATE	TYPE	VENDOR NAME	UNCLEARED	CLEARED	BATCH	CLEAR DATE
167361	09/29/2023	PRINTED	004048 Lisa Brown	387.25			
			INVOICE NO	ACCOUNT	AMOUNT		
			Brown 09/25/23 A	1010-AD-AD00-53170-000000-	350.00		
			Brown 09/25/23 B	1010-AD-AD00-54530-000000-	37.25		
167362	09/29/2023	PRINTED	003471 McBride Dale Associates I 4284-38	2,555.00	2,555.00		
				1010-CD-CD00-53190-000000-			
167363	09/29/2023	PRINTED	004089 Michelle Rowe Rowe 09/25/23	82.53	82.53		
				2090-PD-PD00-56080-000000-			
167364	09/29/2023	PRINTED	002776 Mike Castrucci Ford Inc 137809 141569	1,018.43	369.96 648.47		
				2090-PD-PD00-53510-000000-			
				2090-PD-PD00-53510-000000-			
167365	09/29/2023	PRINTED	004118 Monica Dexter Dexter 09/18/23	439.23	439.23		
				2070-PI-PI00-53410-000000-			
167366	09/29/2023	PRINTED	001256 National Tactical officer 9225	608.00	608.00		
				2250-PD-PD00-53410-000000-			
167367	09/29/2023	PRINTED	002095 Oberer's Flowers 04651391	87.90	87.90		
				2090-PD-PD00-56040-000000-			
167368	09/29/2023	PRINTED	000482 Pinecrest Nursery 3804	24,696.31	24,696.31		
				2190-00-0000-57040-000000-			
167369	09/29/2023	PRINTED	003777 Olga Onipko 39391	15.00	15.00		
				2090-PD-PD00-53190-000000-			
167370	09/29/2023	PRINTED	003835 Tyler Technologies Inc	5,868.00			
			045-438447	1010-AD-AD00-54820-000000-	725.02		
			045-438447	1010-CD-CD00-54820-000000-	22.17		
			045-438447	2010-RD-RD00-54820-000000-	52.16		
			045-438447	2070-PI-PI00-54820-000000-	11.74		
			045-438447	2090-DS-DS00-54820-000000-	19.56		
			045-438447	2090-PD-PD00-54820-000000-	219.07		
			045-438447	2100-DS-DS00-54820-000000-	19.56		
			045-438447	2100-FD-FD00-54820-000000-	228.20		
			045-438447	2110-EM-EM00-54820-000000-	6.52		
			045-437713	1010-AD-AD00-54820-000000-	725.02		
			045-437713	1010-CD-CD00-54820-000000-	22.17		
			045-437713	2010-RD-RD00-54820-000000-	52.16		
			045-437713	2070-PI-PI00-54820-000000-	11.74		
			045-437713	2090-DS-DS00-54820-000000-	19.56		
			045-437713	2090-PD-PD00-54820-000000-	219.07		
			045-437713	2100-DS-DS00-54820-000000-	19.56		
			045-437713	2100-FD-FD00-54820-000000-	228.20		
			045-437713	2110-EM-EM00-54820-000000-	6.52		

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FOR: All Except Stale

CHECK #	CHECK DATE	TYPE	VENDOR NAME	UNCLEARED	CLEARED	BATCH	CLEAR DATE
	045-436842		1010-AD-AD00-54820-000000-		1,812.56		
	INVOICE NO		ACCOUNT		AMOUNT		
	045-436842		1010-CD-CD00-54820-000000-		55.42		
	045-436842		2010-RD-RD00-54820-000000-		130.40		
	045-436842		2070-PI-PI00-54820-000000-		29.34		
	045-436842		2090-DS-DS00-54820-000000-		48.90		
	045-436842		2090-PD-PD00-54820-000000-		547.68		
	045-436842		2100-DS-DS00-54820-000000-		48.90		
	045-436842		2100-FD-FD00-54820-000000-		570.50		
	045-436842		2110-EM-EM00-54820-000000-		16.30		
167371	09/29/2023	PRINTED	003759 Unifirst Corporation	266.22			
	1340209166		1010-PK-PK00-54550-000000-		32.52		
	1340209166		1010-PK-PK00-54720-000000-		22.04		
	1340209166		1010-SV-SV00-54720-000000-		24.59		
	1340209166		2010-RD-RD00-54550-000000-		15.96		
	1340209166		2010-RD-RD00-54720-000000-		156.66		
	1340209166		2050-CE-CE00-54720-000000-		14.45		
167372	09/29/2023	PRINTED	000577 Verizon wireless	1,782.43			
	9944856709		1010-AD-AD00-55020-000000-		72.99		
	9944856709		1010-CD-CD00-55020-000000-		40.11		
	9944856709		1010-SV-SV00-55020-000000-		43.77		
	9944856709		2070-PI-PI00-55020-000000-		40.11		
	9944856709		2090-DS-DS00-55020-000000-		43.77		
	9944856709		2090-PD-PD00-55020-000000-		1,052.99		
	9944856709		2100-DS-DS00-55020-000000-		43.77		
	9944856709		2100-FD-FD00-55020-000000-		444.92		
167373	09/29/2023	PRINTED	004073 Zachary Luensman	101.44			
	Luensman 09/24/23		2090-PD-PD00-53410-000000-		101.44		
400462	09/29/2023	EFT	000008 Ace Hardware W.C. Inc.	37.23			
	35349/1		1010-PK-PK00-53560-000000-		19.29		
	35349/1		1010-PK-PK12-53530-STREET-		17.94		
400463	09/29/2023	EFT	000016 Aero Oil Company of Cincinnati	877.25			
	187592		2010-RD-RD00-53510-000000-		438.63		
	187592		2100-FD-FD00-53510-000000-		219.31		
	187592		2110-EM-EM00-53510-000000-		219.31		
400464	09/29/2023	EFT	000019 Aetna	399,549.04			
	J0998091		1010-00-0000-22210-000000-000000		6,741.18		
	J0998091		2040-00-0000-22210-000000-000000		4,292.49		
	J0998091		2050-00-0000-22210-000000-000000		716.74		
	J0998091		2070-00-0000-22210-000000-000000		1,022.58		
	J0998091		2090-00-0000-22210-000000-000000		23,307.24		
	J0998091		2100-00-0000-22210-000000-000000		21,270.36		
	J0998091		2110-00-0000-22210-000000-000000		3,133.41		
	J0998091		5080-00-0000-22210-000000-000000		160.70		

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FOR: All Except Stale

CHECK #	CHECK DATE	TYPE	VENDOR NAME	UNCLEARED	CLEARED	BATCH	CLEAR DATE
J0998091			2100-00-0000-22240-000000-000000		768.97		
		INVOICE NO	ACCOUNT		AMOUNT		
J0998091			1010-00-0000-22270-000000-000000		268.40		
J0998091			2040-00-0000-22270-000000-000000		97.22		
J0998091			2050-00-0000-22270-000000-000000		5.76		
J0998091			2070-00-0000-22270-000000-000000		39.33		
J0998091			2090-00-0000-22270-000000-000000		911.61		
J0998091			2100-00-0000-22270-000000-000000		793.41		
J0998091			2110-00-0000-22270-000000-000000		85.25		
J0998091			1010-AD-AD00-52210-000000-		20,966.82		
J0998091			1010-AD-AD02-52210-000000-		3,300.82		
J0998091			1010-AD-AD03-52210-000000-		653.63		
J0998091			1010-CD-CD00-52210-000000-		8,463.14		
J0998091			1010-PK-PK00-52210-000000-		1,215.75		
J0998091			1010-SV-SV00-52210-000000-		5,257.88		
J0998091			2040-RD-RD00-52210-000000-		22,237.75		
J0998091			2050-CE-CE00-52210-000000-		3,688.57		
J0998091			2070-PI-PI00-52210-000000-		5,794.84		
J0998091			2090-PD-PD00-52210-000000-		119,625.56		
J0998091			2100-FD-FD00-52210-000000-		115,308.16		
J0998091			2090-DS-DS00-52210-000000-		11,565.14		
J0998091			2100-DS-DS00-52210-000000-		6,227.38		
J0998091			2110-EM-EM00-52210-000000-		10,844.33		
J0998091			5080-RD-RD00-52210-000000-		784.62		
400465	09/29/2023	EFT	002469 Aflac Group Insurance	1,258.55			
		WCTWP-9325 Sep 2023	1010-00-0000-22250-000000-000000		110.60		
		WCTWP-9325 Sep 2023	1010-00-0000-22260-000000-000000		98.15		
		WCTWP-9325 Sep 2023	2090-00-0000-22250-000000-000000		166.09		
		WCTWP-9325 Sep 2023	2090-00-0000-22260-000000-000000		204.21		
		WCTWP-9325 Sep 2023	2100-00-0000-22250-000000-000000		314.89		
		WCTWP-9325 Sep 2023	2100-00-0000-22260-000000-000000		297.98		
		WCTWP-9325 Sep 2023	2040-00-0000-22250-000000-000000		32.86		
		WCTWP-9325 Sep 2023	2040-00-0000-22260-000000-000000		16.74		
		WCTWP-9325 Sep 2023	2070-00-0000-22250-000000-000000		17.03		
400466	09/29/2023	EFT	003337 Airgas, Inc.	1,438.15			
	9142012777		2110-EM-EM00-54550-000000-		1,438.15		
400467	09/29/2023	EFT	002035 A1-Joe's Inc	182.77			
	996448		2050-CE-CE00-53560-000000-		49.99		
	995199		2100-FD-FD00-54010-000000-		132.78		
400468	09/29/2023	EFT	003174 Amazon Fullfillment Servi	2,157.36			
		ITPN-LLLN-47HN	2010-RD-RD00-53510-000000-		47.57		
		ITPN-LLLN-47HN	2100-FD-FD00-53510-000000-		23.79		
		ITPN-LLLN-47HN	2110-EM-EM00-53510-000000-		23.79		
		IC17-JQHQ-JLW7	1010-AD-AD00-54510-000000-		319.95		
		1F6T-KTY4-CWKF	2090-PD-PD00-54510-000000-		72.56		
		1F6T-KTY4-CWKF	2090-PD-PD00-54550-000000-		139.28		

AP CHECK RECONCILIATION REGISTER

FOR CASH ACCOUNT: 9999-00-0000-10110-000000-000000

FOR: All Except Stale

CHECK #	CHECK DATE	TYPE	VENDOR NAME	UNCLEARED	CLEARED	BATCH	CLEAR DATE
			1HLH-GR1T-D1Y9	2090-PD-PD00-54510-000000-	82.88		
			INVOICE NO	ACCOUNT	AMOUNT		
			1LC9-WCLW-CW64	2090-PD-PD00-54510-000000-	9.98		
			16R6-DT19-LWJQ	1010-CD-CD00-54510-000000-	64.77		
			1MHT-J949-N74P	2010-RD-RD00-53510-000000-	35.99		
			1MHT-J949-N74P	2010-RD-RD00-53560-000000-	32.99		
			1PDH-NGR3-K77L	2070-PI-PI00-54010-000000-	548.94		
			1PDH-NGR3-K77L	2070-PI-PI00-56030-000000-	84.24		
			1FQ7-Y6Q6-C3T9	2070-PI-PI00-56030-FARMER-	235.92		
			1TYG-VM1M1KN9	2070-PI-PI00-54010-000000-	335.59		
			1PLT-N49D-K6PT	2100-FD-FD00-53510-000000-	99.12		
400469	09/29/2023	EFT	002488 Autozone Stores LLC	69.29			
			4544089141	2100-FD-FD00-53510-000000-		69.29	
400470	09/29/2023	EFT	001136 B & H Foto & Electronics	4,012.42			
			216811532	2070-PI-PI00-54010-000000-		4,012.42	
400471	09/29/2023	EFT	000681 Best One Tire & Service o	721.44			
			5010027633	1010-SV-SV00-53510-000000-		721.44	
400472	09/29/2023	EFT	003381 AAA Club Alliance Inc Car	69.99			
			112041200	2090-PD-PD00-53510-000000-		69.99	
400473	09/29/2023	EFT	000126 Bound Tree Medical LLC.	2,791.27			
			85100340	2110-EM-EM00-54550-000000-		1,755.55	
			85100341	2110-EM-EM00-54550-000000-		973.62	
			85098970	2110-EM-EM00-54550-000000-		62.10	
400474	09/29/2023	EFT	000192 Ohio Newspapers Inc	550.62			
			I00805536	1010-CD-CD00-53720-000000-		201.78	
			I00807832	1010-CD-CD00-53720-000000-		171.00	
			I00805683-08272023	1010-AD-AD00-53720-000000-		177.84	
400475	09/29/2023	EFT	000202 Cummins Bridgeway LLC	1,311.19			
			T-5-17529	2100-FD-FD00-53510-000000-		935.10	
			T-5-17256	2100-FD-FD00-53510-000000-		225.11	
			T5-17077	2100-FD-FD00-53510-000000-		150.98	
400476	09/29/2023	EFT	002902 Dinsmore & Shohl Llp	1,200.00			
			09/22/23	2180-00-0000-53110-000000-		960.44	
			09/22/23	2190-00-0000-53110-000000-		239.56	
400477	09/29/2023	EFT	000235 Econ-O-Wise Rental	352.68			
			306394	1010-PK-PK00-53560-000000-		352.68	
400478	09/29/2023	EFT	000634 Emcor Facilities Services	35,470.31			
			586614B	1010-AD-AD00-53530-000000-		506.67	
			586614B	1010-CD-CD00-53530-000000-		422.22	
			586614B	2010-RD-RD00-53530-000000-		717.78	

AP CHECK RECONCILIATION REGISTER

FOR CASH ACCOUNT: 9999-00-0000-10110-000000-000000

FOR: All Except Stale

CHECK #	CHECK DATE	TYPE	VENDOR NAME	UNCLEARED	CLEARED	BATCH	CLEAR DATE
586614B			2090-PD-PD00-53530-000000-		2,575.55		
		INVOICE NO	ACCOUNT		AMOUNT		
		606139	1010-PK-PK03-53530-000000-		339.34		
		606139	1010-PK-PK04-53530-000000-		72.43		
		606139	1010-PK-PK11-53530-000000-		903.33		
		606139	1010-PK-PK12-53530-000000-		59.32		
		606140	2050-CE-CE00-53530-000000-		822.22		
		606135	1010-AD-AD00-53530-000000-		2,803.67		
		606135	1010-CD-CD00-53530-000000-		2,336.39		
		606135	2010-RD-RD00-53530-000000-		3,971.86		
		606135	2090-PD-PD00-53530-000000-		14,251.96		
		607094	2100-FD-FD00-53530-000000-		1,758.26		
		606138	2100-FD-FD00-53530-000000-		1,758.26		
		606144	2100-FD-FD00-53530-000000-		438.64		
		606141	1010-AD-AD00-53530-000000-		203.42		
		606141	1010-CD-CD00-53530-000000-		169.52		
		606141	2010-RD-RD00-53530-000000-		288.18		
		606141	2090-PD-PD00-53530-000000-		1,034.06		
		606142	1010-AD-AD00-53530-000000-		32.76		
		606142	2070-PI-PI00-53530-000000-		4.47		
400479	09/29/2023	EFT	000264 Fire Safety Services Inc. 231266 2100-FD-FD00-53560-000000-	169.00	169.00		
400480	09/29/2023	EFT	002825 First Choice Coffee Servi 284431 2100-FD-FD00-54530-000000-	284.23	284.23		
400481	09/29/2023	EFT	000273 Frost Brown Todd LLC October 2023 1010-AD-AD00-53110-000000-	6,000.00	6,000.00		
400482	09/29/2023	EFT	000277 Galls, LLC	3,734.10			
		025333576	2100-FD-FD00-54720-000000-		109.34		
		BC1960476	2090-PD-PD00-54720-000000-		258.12		
		025457451	2100-FD-FD00-54720-000000-		91.92		
		025451057	2100-FD-FD00-54720-000000-		63.99		
		025456545	2100-FD-FD00-54720-000000-		97.61		
		025456546	2100-FD-FD00-54720-000000-		101.38		
		025456547	2100-FD-FD00-54720-000000-		92.83		
		025456549	2100-FD-FD00-54720-000000-		183.03		
		025457364	2100-FD-FD00-54720-000000-		67.37		
		025457536	2100-FD-FD00-54720-000000-		227.57		
		025457655	2100-FD-FD00-54720-000000-		91.77		
		025457657	2100-FD-FD00-54720-000000-		101.38		
		025457666	2100-FD-FD00-54720-000000-		97.56		
		025457673	2100-FD-FD00-54720-000000-		91.50		
		025457674	2100-FD-FD00-54720-000000-		91.69		
		025457677	2100-FD-FD00-54720-000000-		91.61		
		025457685	2100-FD-FD00-54720-000000-		91.41		
		025457687	2100-FD-FD00-54720-000000-		97.15		
		025457724	2100-FD-FD00-54720-000000-		91.04		

AP CHECK RECONCILIATION REGISTER

FOR CASH ACCOUNT: 9999-00-0000-10110-000000-000000

FOR: All Except Stale

CHECK #	CHECK DATE	TYPE	VENDOR NAME	UNCLEARED	CLEARED	BATCH	CLEAR DATE
	025457725		2100-FD-FD00-54720-000000-		91.20		
	INVOICE NO		ACCOUNT		AMOUNT		
	025457726		2100-FD-FD00-54720-000000-		91.17		
	025457776		2100-FD-FD00-54720-000000-		91.78		
	025457952		2100-FD-FD00-54720-000000-		91.81		
	025474551		2100-FD-FD00-54720-000000-		64.01		
	025476430		2100-FD-FD00-54720-000000-		217.76		
	025481264		2100-FD-FD00-54720-000000-		23.53		
	025486756		2100-FD-FD00-54720-000000-		111.85		
	025490271		2100-FD-FD00-54720-000000-		59.08		
	025464433		2100-FD-FD00-54720-000000-		537.88		
	025398986		2100-FD-FD00-54720-000000-		215.76		
400483	09/29/2023	EFT	000277 Galls, LLC	48.45			
	025480726		2100-FD-FD00-54720-000000-		12.12		
	025480727		2100-FD-FD00-54720-000000-		12.11		
	025480794		2100-FD-FD00-54720-000000-		12.11		
	025480845		2100-FD-FD00-54720-000000-		12.11		
400484	09/29/2023	EFT	000280 Gateway Tire Company Inc.	188.94			
	30-0599449		2090-PD-PD00-53510-000000-		188.94		
400485	09/29/2023	EFT	003447 Heritage Fire Equipment L	1,278.46			
	9524		2100-FD-FD00-53510-000000-		1,278.46		
400486	09/29/2023	EFT	002798 Industrial Fastener Suppl	82.50			
	168556		1010-PK-PK00-53510-000000-		82.50		
400487	09/29/2023	EFT	000359 Controls Center Inc	40.28			
	S102991844.001		1010-SV-SV99-54550-000000-		40.28		
400488	09/29/2023	EFT	003047 Roquemore Enterprises Inc	1,544.33			
	2021-3867		2090-PD-PD00-53510-000000-		1,544.33		
400489	09/29/2023	EFT	001183 Leader Machinery Co LLC	88.84			
	9518		2010-RD-RD00-53560-000000-		88.84		
400490	09/29/2023	EFT	000416 Melvin Stone	713.83			
	309581		2010-RD-RD00-54550-IHCRCK-		713.83		
400491	09/29/2023	EFT	002441 Menard, Inc.	46.90			
	69306		1010-SV-SV99-54550-000000-		28.93		
	66094		2100-FD-FD00-53530-000000-		17.97		
400492	09/29/2023	EFT	000447 Murphy Supply Company	1,139.00			
	208932		2100-FD-FD00-54550-000000-		1,139.00		
400493	09/29/2023	EFT	003481 National Shotcrete LLC	42,956.00			
	1557-8		2170-00-0000-57070-000000-		42,956.00		

AP CHECK RECONCILIATION REGISTER

FOR CASH ACCOUNT: 9999-00-0000-10110-000000-000000

FOR: All Except Stale

CHECK #	CHECK DATE	TYPE	VENDOR NAME	UNCLEARED	CLEARED	BATCH	CLEAR DATE
400494	09/29/2023	EFT	000604 Northcoast Products	594.75			
		INVOICE NO	ACCOUNT	AMOUNT			
		13161	2010-RD-RD00-54550-IHCRCK-		594.75		
400495	09/29/2023	EFT	003478 O'Reilly Auto Enterprises	1,602.95			
	1738-294453		2090-PD-PD00-53510-000000-		10.18		
	1738-294573		2090-PD-PD00-53510-000000-		206.59		
	1738-294855		1010-PK-PK00-53510-000000-		394.00		
	1738-294720		2010-RD-RD00-53510-000000-		200.52		
	1738-294563		2010-RD-RD00-53510-000000-		740.57		
	1738-294772		2090-PD-PD00-53510-000000-		8.89		
	1738-294841		2090-PD-PD00-53510-000000-		28.08		
	1738-295009		2090-PD-PD00-53510-000000-		75.51		
	1738-295005		2090-PD-PD00-53510-000000-		35.62		
	1738-294988		2090-PD-PD00-53510-000000-		14.99		
	1738-294865		2010-RD-RD00-53510-000000-		-90.00		
	1738-294709		2090-PD-PD00-53510-000000-		-22.00		
400496	09/29/2023	EFT	003831 ODP Business Solutions LL	200.76			
	332636331001		2100-FD-FD00-54510-000000-		200.76		
400497	09/29/2023	EFT	000475 Overhead Door of Cincinna	468.00			
	949020		2100-FD-FD00-53530-000000-		468.00		
400498	09/29/2023	EFT	002747 Rush Truck Centers of Ohi	4,933.90			
	3034338928		2010-RD-RD00-53510-000000-		4,933.90		
400499	09/29/2023	EFT	000508 Safety Shoe Distributors	225.00			
	I200-21075580		1010-SV-SV99-54720-000000-		225.00		
400500	09/29/2023	EFT	000761 Staples Inc	474.38			
	7615017877		1010-CD-CD00-54510-000000-		159.34		
	3547653094		2090-PD-PD00-54510-000000-		49.99		
	3547653041		1010-AD-AD00-54010-000000-		129.99		
	3547653041		1010-AD-AD00-54510-000000-		135.06		
400501	09/29/2023	EFT	003340 Triple S Tire Company, In	367.13			
	136235		2010-RD-RD00-53560-000000-		367.13		
400502	09/29/2023	EFT	000583 Vogelpohl Fire Equipment,	112.49			
	6002517		2110-EM-EM00-53510-000000-		112.49		
400503	09/29/2023	EFT	001591 Zoll Data Systems, Inc.	9,724.00			
	INV00149625		2100-FD-FD00-54830-000000-		9,724.00		
		82 CHECKS	CASH ACCOUNT TOTAL	614,452.58	.00		

AP CHECK RECONCILIATION REGISTER

		UNCLEARED	CLEARED
82 CHECKS	FINAL TOTAL	614,452.58	.00

** END OF REPORT - Generated by Felicia Krutka **

AGENDA ITEM COVER SHEET

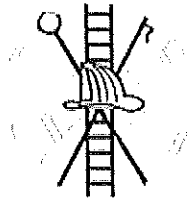
Trustee Meeting Date:	Agenda Item Type:
October 10, 2023	Requisition Item
Submitted By:	
Rick L. Prinz, Fire Chief	

Motion:
Vogelpohl Fire Equipment, Inc. - \$10,868.60 - Replace attack line fire hose (CIP# 1545)

Background:
<p>NFPA 1961 Standard on Fire Hose and Ohio Administrative Code require fire departments to test fire attack and supply hoses annually; as part of the testing measures, a hose that is not a rubber jacketed supply line cannot be recoupled internally, and the external cost is comparable to new hose purchase, making the standard in the industry to replace attack fire lines that fail the NFPA 1961 annual test.</p> <p>To ensure compliance with the standard and code, as well as the safety of both firefighters and the public, the Fire Department created CIP# 1545</p> <p>After a portion of the hose testing in 2023, Firefighter Hartwell, whose area of responsibility is the maintenance and testing of fire hoses, reports the following sections of hose failed testing.</p> <ul style="list-style-type: none"> • 1 section of 50 ft. 1.75 attack line • 2 sections of 50 ft. 2.5 attack line • 5 sections of 100 ft. 5-inch supply line <p>Attached is a quote from Vogelpohl, our area dealer, for the Key Fire Hose brand we have purchased over the past several years. Additional quotes from Hose Rack, Google Shopping, and SeaWestern Fire Equipment are included as comparables; Vogelpohl has the lowest price.</p> <p>The hose is ordered from Vogelpohl and directly shipped from Key Fire Hose with a shipping cost estimated at \$500.00, which has been added to the Purchase Order amount requested. Vogelpohl did not include it in the quote because they technically don't charge the freight; Key Fire Hose does.</p>

Finance	Budgeted Item:	Yes; Operational, CIP		
	CIP #:	1545		
	TIF Info:			
	Purchase Order:	23001586	Total Encumbrance:	\$ 10,868.60

QUOTE



VOGELPOHL FIRE EQUIPMENT

2770 Circleport Drive Erlanger, KY 41018
www.vogelpohlfire.com

Quote #: Q008277
Date: Sep 25, 2023
Expiration: Oct 25, 2023
Contact: Mike Rust
Cell: 859-653-0183
Email: mike.rust@vogelpohlfire.com

ISSUED TO

Brandon Tully
West Chester Fire Dept
9119 Cinti-Dayton Road
West Chester OH 45069

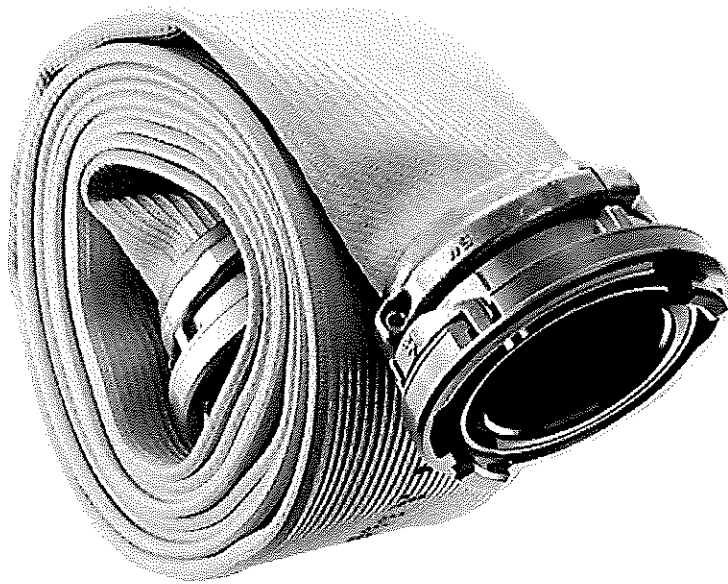
Qty	Description	Payment Terms	Freight	
		Net Due in 15 Days	Not Included	
			Each	Extended
6	Key Hose, DP18-800-FDNY, 1.75" x 50', Big 10 FDNY Spec Double Jacket Attack Line with Aluminum NST Couplings, treated, color is ORANGE		\$195.90	\$1,175.40
4	Key Hose, DP18-800-FDNY, 1.75" x 50" Big 10 FDNY Spec Double Jacket Attack Line with Aluminum NST Couplings, treated, color is WHITE		\$195.90	\$783.60
4	Key Hose, DP25-800, 2.5" x 50', Big 10 Double Jacket Attack Line with Aluminum NST Couplings, treated, color is WHITE		\$234.30	\$937.20
7	Key Hose, RC50-450, 5" x 100' PRO-FLOW LDH with Aluminum Storz Couplings, color is YELLOW		\$843.60	\$5,905.20
8	Key Hose, DP18-800-FDNY, 1.75" x 50', Big 10 FDNY Spec Double Jacket Attack Line with Aluminum NST Couplings, treated, color is ORANGE		\$195.90	\$1,567.20
1	FREIGHT-S: Freight for Equipment, NO Charge		\$.00	\$.00
				\$10,368.60

Thank you for the opportunity to provide you with this proposal.



Type to search...

[Home](#) > [Fire Industry Hoses](#) > [Rubber Covered Hoses](#) > [5" Rubber Covered Hoses](#) >



Yellow 5" x 100' Pro-Flow Rubber Hose (Storz Couplings)

Price: \$936.69

Item Number: 50PF5100YL

Weight: 105.0 lb

Stock Level: 0

Product Status: Special Order

When Will it Ship: Approx. Nov 30, 2023

Shipping Cost: Minimum Freight Charge of \$250

Shipping Transit Time: 2 to 5 Business Days

Eligible for Express Shipping: No

Stock Level Updated: Sep 27, 2023

Quantity

Add to cart

Chat

Yellow 5" x 100' Pro-Flow Rubber Hose (Storz Couplings)



Price: **\$936.69**

Stock Level: 0

Product Status: Special Order

When Will it Ship: Approx. Nov 30, 2023

Shipping Cost: Freight Charge \$250 (Per Order)

Shipping Transit Time: 2 to 5 Business Days

Eligible for Express Shipping: No

Stock Level Updated: Sep 27, 2023

[Chat](#)

4.9 ★★★★★
 Google
 Customer Reviews

We're making changes to saves and price tracking. Learn how you can still access these features.

Dismiss Learn more

Key Fire Hose 2 1/2 in. Double Jacket 800 Fire Hose w/ Aluminum NH Couplings - DP25800X50ARN

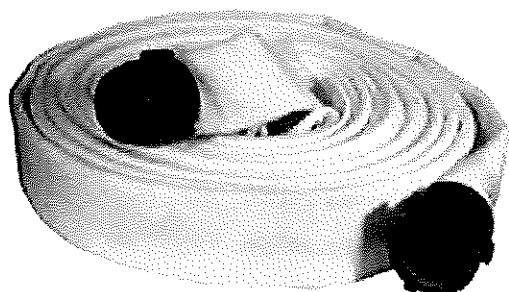
SAVE

About these results

Buying options

\$285.76
+\$0.00 est. tax
\$46.80 delivery by Fri, Oct 6
John Ellsworth Co

Visit site



Typical prices across the web

\$285.76 at John Ellsworth Co



Low

Typical: **\$285.76**

High

Track price
Get notified when the price drops
View all your tracked products

Report a listing

Polyester

RUBBER LINED - UL LISTEDQuality: The fire hose assembly supplied under this specification shall be constructed with superior quality materials. NFPA 1961 standards shall be observed in production of the assembly, in order to ensure its quality and durability. Proof Test: 800 PSI ... More

Compare buying options

Sold by	Details & special offers	Item price	Total price	
John Ellsworth Co	\$46.80 delivery by Fri, Oct 6	\$285.76	\$332.56	Visit site

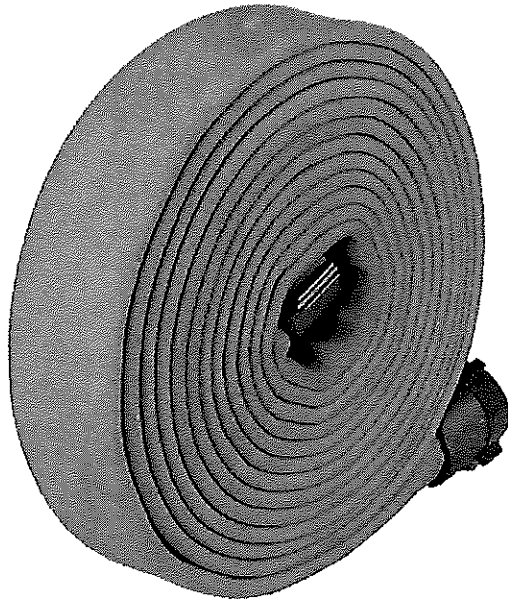
You might also like

We're making changes to saves and price tracking. Learn how you can still access these features.

Dismiss Learn more

Key Fire Hose DP25 Big-10 Heavy Duty Rubber Attack Hose, Double Jacket, 2.5"Size, 50' Section, Green, 1 Each

(3)



AVE

About these results

Buying options

\$318.99

Visit site

+\$0.00 est. tax

\$59.85 delivery by Thu, Oct 5

[30-day returns](#)

Enviro Safety Products

4.7/5 [\(89 store reviews\)](#)

Typical prices across the web

\$318.99 at Enviro Safety Products



Low

Typical: **\$318.99**

High

[Track price](#)

[Get notified when the price drops](#)

[View all your tracked products](#)

[Report a listing](#)

Color: Green



Size: 2½

Polyester · Green · Big

Reviews

5.0

- 5 star
- 4 star
- 3 star
- 2 star
- 1 star

3 reviews

Craftsmanship (1)

Fire Hose

We're making changes to saves and price tracking. Learn how you can still access these features.

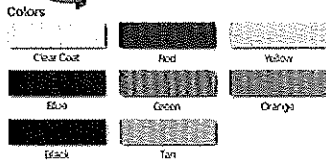
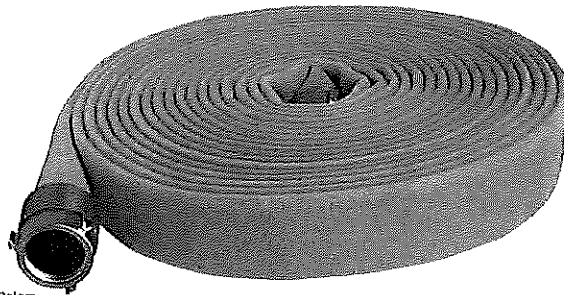
Dismiss Learn more

Key Fire Hose Big-10 Hose FDNY 1.75" x Length, DJ, 1.5" NH

SAVE

About these results

BIG-10 FDNY



Buying options

\$254.00
+\$0.00 est. tax
\$20.00 delivery by Fri, Sep 29
[30-day returns](#)
nafeco.com

Visit site

Track price
Get notified when the price drops
View all your tracked products

Report a listing

Key Fire Hose Big-10 Hose FDNY Specs 1.75"

See more details at nafeco.com »

Compare buying options

Sold by	Details & special offers	Item price	Total price	
nafeco.com	\$20.00 delivery by Fri, Sep 29 30-day returns	\$254.00	\$274.00	Visit site

Feedback

Want to suggest a feature, report a bug, or tell us about incorrect data? Send feedback or report a violation.

West Chester Township, OH · Learn more



All categories ▾ What are you looking for?



Home > Key Fire Hose FDNY

🔍 Click to expand



Key Fire Hose FDNY

Ships from Manufacturer

Expected Lead Time: 6-8 weeks

\$222.12

SKU Key DP18-800-FDNY

Size
1.75" X 50' ▾

Quantity
1 ▾

Add to cart

Buy with

More payment options

Description

AGENDA ITEM COVER SHEET



Trustee Meeting Date:	Agenda Item Type:
October 10, 2023	Requisition Item
Submitted By:	
Colonel Joel M. Herzog, Chief of Police	

Motion:
Toyota Financial Services - \$25,765.81 - Purchase a court-ordered forfeited vehicle

Background:
<p>The police department is requesting Trustee approval to purchase a court-ordered forfeited vehicle payable to Toyota Financial Services. The vehicle’s payoff amount of \$25,765.81 is good through November 6, 2023. At that point, a minimal \$4.54 per diem rate will accrue. Drug asset funds will be used to purchase the vehicle.</p> <p>Thank you for your consideration.</p>

Finance	Budgeted Item:	N/A;	
	CIP #:		
	TIF Info:		
	Purchase Order:	23001624	Total Encumbrance:

 **TOYOTA**
FINANCIAL SERVICES SM
PO Box 22171
Tempe, AZ 85285

ACCOUNT NUMBER: [REDACTED]
DESCRIPTION OF VEHICLE: 2022 toyota
TACOMA 4X
VEHICLE IDENTIFICATION NUMBER: [REDACTED]

10/06/23

Please return this completed form to:

[REDACTED]
[REDACTED]
[REDACTED]

TOYOTA FINANCIAL SERVICES
P.O. BOX 5855
CAROL STREAM, IL 60197-5855

Dear CONNOR BISHOP:

This letter serves as confirmation of the retail contract payoff quote requested for this account.

Payoff Amount:	<u>\$ 25,765.81</u>	Good Through:	<u>11/06/2023</u>
Per Diem:	<u>\$ 4.54</u>	Last Payment Date:	<u>5/19/2023</u>

If funds are received after the Good Through date shown above, additional charges may accrue. Subject to final accounting and receipt of good funds, the account will be considered as "paid in full".

NOTE: In order to release the satisfied lien and/or title to a third party, we will need written authorization from the customer. To expedite the release of lien and/or title, please:

1. Remit certified funds to the following address listed below.

TOYOTA FINANCIAL SERVICES
P.O. BOX 5855
CAROL STREAM, IL 60197-5855

2. Include the account number on your check.

Liens/Titles will be held for up to 10 days from date of receipt of payoff if funds are not received by certified check or other certified funds.

Please contact your local motor vehicle agency for any questions you may have about the vehicle title, titling instructions, or registration.

Thank you for the opportunity to serve you. We appreciate your business.

Sincerely,

Toyota Financial Services
(800) 874-8822
Monday-Friday, 8AM-5PM (Local Time)



Toyota Financial Services is a service mark of Toyota Motor Credit Corporation (TMCC). Retail installment accounts may be owned by TMCC or its securitization affiliates and lease accounts may be owned by Toyota Lease Trust (TLT) or its securitization affiliates. TMCC is the servicer for accounts owned by TMCC, TLT, and their securitization affiliates.

DMS 300-01 (01/23)

AGENDA ITEM COVER SHEET



Trustee Meeting Date:	Agenda Item Type:
October 10, 2023	Requisition Item
Submitted By:	
Barb Wilson, Director of Public Information & Engagement	

Motion:
Magnetic Marketing LLC - \$30,000.00 - Purchase banners for Union Centre Boulevard Landscape District (CIP# 1723)

Background:
<p>Each year a CIP is planned from the UCB Landscape District for \$30,000.00 for the purchase of custom banners in the UCB area. This purchase order is typically not expended each year, but carries over and is used as orders for new banners are placed.</p> <p>The last time a purchase was approved by Trustees for this expense was in March 2022. The current purchase order will be depleted before the end of this year; Public Information & Engagement is recommending a new purchase order be open.</p> <p>Magnetic Marketing LLC has maintained the same pricing for the past several years and is the only vendor that repairs damaged banners at no added cost. The company's pricing is competitive with others researched.</p>

Finance	Budgeted Item:	Yes; CIP		
	CIP #:	1723		
	TIF Info:			
	Purchase Order:	23001558	Total Encumbrance:	\$ 30,000.00

Decal Impressions

Magnetic Marketing Solutions,LLC
 2111 Kindel Ave
 Cincinnati, Oh 45214

Estimate

Date	Estimate #
2/23/2023	25781

Name / Address
West Chester Fire Dept Accounts Payable 9113 Cincinnati-Dayton Rd. West Chester, Oh 45069

			Project
Description	Qty	Cost	Total
36" X 96" Double Sided Banners With 4" Pole Pockets Top And Bottom With 1 Grommet In Each Corner Of Image With Reinforcing	4	259.00	1,036.00T
36" X 96" Double Sided Banners With 4" Pole Pockets Top And Bottom With 1 Grommet In Each Corner Of Image With Reinforcing	8	232.95	1,863.60T
36" X 96" Double Sided Banners With 4" Pole Pockets Top And Bottom With 1 Grommet In Each Corner Of Image With Reinforcing	10	225.90	2,259.00T
36" X 96" Double Sided Banners With 4" Pole Pockets Top And Bottom With 1 Grommet In Each Corner Of Image With Reinforcing	12	218.85	2,626.20T
36" X 96" Double Sided Banners With 4" Pole Pockets Top And Bottom With 1 Grommet In Each Corner Of Image With Reinforcing	20	191.80	3,836.00T
36" X 96" Double Sided Banners With 4" Pole Pockets Top And Bottom With 1 Grommet In Each Corner Of Image With Reinforcing	40	187.75	7,510.00T
36" X 96" Double Sided Banners With 4" Pole Pockets Top And Bottom With 1 Grommet In Each Corner Of Image With Reinforcing	50	184.70	9,235.00T
36" X 96" Double Sided Banners With 4" Pole Pockets Top And Bottom With 1 Grommet In Each Corner Of Image With Reinforcing	60	177.65	10,659.00T
24" X 48" Double Sided Banners With 4" Pole Pockets Top And Bottom With 1 Grommet In Each Corner Of Image With Reinforcing	12	71.85	862.20T
24" X 48" Double Sided Banners With 4" Pole Pockets Top And Bottom With 1 Grommet In Each Corner Of Image With Reinforcing	24	65.80	1,579.20T
Thank you for your business.		Total	

Customer Signature

Decal Impressions

Magnetic Marketing Solutions,LLC
2111 Kindel Ave
Cincinnati, Oh 45214

Estimate

Date	Estimate #
2/23/2023	25781

Name / Address
West Chester Fire Dept Accounts Payable 9113 Cincinnati-Dayton Rd. West Chester, Oh 45069

Project

Description	Qty	Cost	Total
Exempt		0.00%	0.00
Thank you for your business.		Total	\$41,466.20

Customer Signature _____

AGENDA ITEM COVER SHEET

Trustee Meeting Date:	Agenda Item Type:
October 10, 2023	Requisition Item
Submitted By:	
Barb Wilson, Director of Public Information & Engagement	

Motion:
iVideo Technologies LLC - \$18,624.00 - Upgrade Township Hall audio equipment (CIP# 1708)

Background:
<p>An upgrade to some components of Township Hall audio production equipment will offer flexibility to the room's multiple purposes, including staff training.</p> <p>The price includes the equipment (including the camera speakerphone), installation, and a 10% contingency.</p>

Finance	Budgeted Item:	Yes; CIP, TIF	
	CIP #:	1708	
	TIF Info:	UCB Administration Building Improvement	
	Purchase Order:	23001448	Total Encumbrance:



West Chester Township
 Barb Wilson
 9113 Cincinnati-Dayton Rd.
 West Chester, OH 45069-

Project: Conferencing Mics
Quote: 0015151
Terms: Net 30
Shipping: Prepay and Add

System Description: Install Conferencing Capabilities

Item	Qty	Manufacturer	Model #	Description	Unit Price	Total Price
1	2	Shure	MXA710W-4FT	LINEAR ARRAY MIC, WHITE, 4 FT	2,695.00	5,390.00
2	1	Biamp	TESIRAFORTE DAN CI	Fixed I/O DSP w/12x8 analog I/O, 8 channels of USB audio, 32 x 32 channels of Dante and AEC	2,975.00	2,975.00
3	1	Biamp	TEC-X 1000	Touch-enabled control pad with knob, available in black or white	425.00	425.00
4	1	Newtek	NSP3GIO	Spark Plus I/O SDI Converter	895.00	895.00
5	1	iVideo Technologies	SILVER_MA	MA Silver - iVideo's silver maintenance agreement includes a preventative maintenance visit and ensures an iVideo technician onsite within 7 days. All audio / video maintenance issues are covered and all minor parts and cabling needed to ensure a working system is included in the contract price. Please note that in addition to a preventative maintenance visit this agreement includes one service call per annum. This agreement is customizable and renewable.	850.00	850.00
OPTIONAL - not included in quote total						
6	0	Panasonic	TY-CSP1	360 degree camera speakerphone	1,149.00	0.00

Total Equipment:	10,535.00
Total Labor and Materials:	5,135.00
Estimated Shipping:	112.00
Sales Tax:	0.00
Total:	15,782.00

iVideo Technologies' Representative:	<u>Fred Schoenhofer</u>	Date: <u>August 17, 2023</u>
E-Mail & Phone:	<u>fschoenhofer@ivideo.com 513-842-5972</u>	
Client Representative:	_____	Date: _____
Purchase Order Number:	_____	

Scope of Work

iVideo Technologies' Responsibilities:

- 1 Contact client and coordinate installation with customer for a 8:00am - 05:00pm, Monday through Friday consecutive time period. All quotes are based on consecutive installation days and scheduling non-consecutive days will result in additional charges.
- 2 Provide installation of iVideo sold components in accordance with manufacturers' recommendations. Installation outside of the manufactures' basic set up must be detailed in the scope of work. Set up outside of a manufacturers' base system will be at additional charges.
- 3 If appropriate, provide in-shop configuration and testing of equipment prior to installation.
- 4 Installation of any iVideo furnished low-voltage cabling at NEC standards. All systems are assumed to be pre-wired by others unless detailed in the scope of work section.
- 5 Supply all required connectors and terminations following audio / video industry standards.
- 6 Test all iVideo furnished equipment for proper operation as individual items and as a complete system.
- 7 Provide on-site operational orientation for complete system. iVideo's standard operational orientation is for 30 minutes and any time outside of that must be detailed in the scope of work section.
- 8 Need is to mostly pick up the front 4 - 5 rows of seats. Use is for conferencing and training / demonstration purposes.
- 10 Run Cat6 cable along the top side of the soffit to the control room. Connect to HP network switch in the equipment rack.
- 11 In the control room rack, mount Biamp Tesira Forte DAN CI to receive Shure mics. Connect to a HP network switch installed by iVideo previously. Install Biamp Tec-X1000 on existing console to control the Tesira Forte
- 12 Run Cat cable form the switch to the OFE podium, cable will have t cross the floor to the podium.
- 13 In the podium install NewTek Spark IO to convert an OFE computer to NDI. Connect new Cat Line to the Spark.
- 14 Set up system so that camera 2 (existing – Panasonic NDI) can be seen by the computer as a resource for conferencing. Additionally set us OFE computer sop that the Shure MXA710 mics can be sent as a mic source to the far end conference.
- 15 In control room the podium computer should become an NDI resource to he OFE Newtek TC1 switcher to be able to be displayed on the room projectors.

West Chester Township Responsibilities:

- 1 Upon receipt inspect any delivered products and inform iVideo of any freight damage within 24 hours of delivery.
- 2 Provide all required outside sources and configurations including AC power, IT, network, telephony (SIP / VOIP / Etc), cable, satellite etc.
- 3 Coordinate a block of consecutive time for a 8:00am - 05:00pm, Monday through Friday installation.
- 4 Provide iVideo with at least 72 hours' notice for changes in installation dates. Any notice within 72 hours or iVideo's inability to access a site will result in a charge to the Purchaser equal to iVideo's lost time.
- 5 Provide any required rough-in conduits, in-wall boxes, signal path-ways, and in-wall backing. Provide installed equipment with proper ventilation and cooling (HVAC).
- 6 Provide any required permits or licenses.
- 7 Inspect and confirm the good working order of all owner-furnished equipment, media, and software.
- 8 Understands that all change orders will require a written approval from an authorized Purchaser representative as well as an updated Purchase Order.
- 9 Thoroughly inspect iVideo's installation and confirm that the complete system is working within 24 hours of each project phase completion.
- 10 Purchaser is responsible for the repair or replacement of any ceiling work (grids, tiles, drywall, etc), drywall patching, and painting that may need to be altered for iVideo to complete its work.

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Note: The Scope of Work represents the work to be performed by iVideo Technologies and West Chester Township.

We understand, acknowledge, and accept the above scope of work.

Fred Schoenhofer - iVideo Technologies

Date: August 17, 2023

Barb Wilson - West Chester Township

Date: _____

Terms and Conditions

The following Terms and Conditions apply to the above quote and the subsequent order. This order means that iVideo and Purchaser have come to a complete agreement as to the list of materials, the costs and in some cases the labor charges as spelled out in this document.

Payment Terms: All orders are cash on delivery unless credit is approved and an open account is established. Open accounts are a courtesy that is available upon the satisfactory completion and review of a credit application. Accounts cannot be opened until iVideo has received written responses to its inquiries. Accounts will have credit limits and specific payment terms as determined by iVideo. An open account is subject to a service charge of 1.5% per month when the payment is 30 or more days past due. iVideo is further entitled to recover from Purchaser all reasonable attorney's fees and costs incurred in collection of any amounts outstanding. There will be a service charge of 10% of the Contract amount if the job is cancelled by Purchaser AFTER the third business day. iVideo may close an open account at any time and at its sole discretion. State and local taxes are the sole responsibility of Purchaser. For purchasers based in the State of Ohio applicable sales taxes will be charged unless Purchaser provides a valid tax exemption certificate prior to the acceptance of the quote by iVideo.

Condition and Purchaser Furnished Goods: All goods sold by iVideo will be new and in factory direct condition. Purchaser will be informed of any non-new conditioned items such as demo, used, returned or opened products. iVideo has no liability or responsibility for product compatibility on Purchaser furnished products.

Warranty: iVideo supports its workmanship for a period of 30 days from the installation completion date ("iVideo Warranty"). In addition, iVideo will pass along any available manufacturers' warranties to Purchaser. During the 30-day iVideo Warranty period, it will facilitate and install products covered under the manufacturer's warranty at no charge. All coverage and assistance outside of this 30-day period requires a maintenance agreement and will have a separate charge. Purchaser acknowledges, agrees, and understands that the only warranty given by iVideo to Purchaser regarding the work is the iVideo Warranty. Purchaser acknowledges that the terms of the iVideo Warranty provide for the manner, performance or quality of the desired construction are clear, specific and sufficiently detailed to establish the only standards of construction. **TO THE EXTENT PERMITTED BY LAW, PURCHASER WAIVES ANY CAUSE OF ACTION UNDER ALL IMPLIED WARRANTIES, INCLUDING, BUT NOT LIMITED TO, THE IMPLIED WARRANTY OF GOOD AND WORKMANLIKE CONSTRUCTION, IMPLIED WARRANTY OF HABITABILITY, MERCHANTABILITY, AND FITNESS FOR A PARTICULAR PURPOSE AND STIPULATES THAT SUCH IMPLIED WARRANTIES ARE EXPRESSLY REPLACED BY THE iVideo WARRANTY.** All warranties on Consumer or Manufactured Products (as those terms are defined by Federal law) are assigned, without recourse. iVideo makes no warranties of any kind, express or implied, concerning Manufactured Products and expressly disclaims all implied warranties of merchantability, fitness or use for a particular purpose, and any other warranties to the fullest extent permitted by state or federal law. Notwithstanding anything herein to the contrary, Purchaser agrees that Purchaser has not substantially performed under the Contract unless Purchaser has paid iVideo all sums due hereunder. Further, Purchaser acknowledges that iVideo shall not be obligated to perform any warranty work hereunder until Purchaser has paid the Total Contract Price in full. iVideo shall not be liable for any damages that arise out of the failure to mitigate any damages or perform any warranty repairs that are in any way related to Purchaser's failure to pay timely the Total Contract Price hereunder. Purchaser shall mitigate any warranty conditions or resulting damages that iVideo does not cure under the iVideo Warranty due to Purchaser's failure to pay the Total Contract Price.

Returns: Any equipment returned to iVideo must be approved by iVideo. Standard equipment items returned are subject to a 10% processing fee and may be subject to an additional manufacturer's restocking fee. Products will not be accepted for return without complete, original packaging and must be in new condition. All software sales are final and any custom-built items are not returnable.

Security Agreement: By placing an order the purchaser agrees to iVideo's continued secured interest in the equipment or system until such time as the Purchaser's financial obligation to iVideo is complete. iVideo retains the right to reclaim the equipment or system if Purchaser does not complete their financial obligations.

Shipping and Insurance: All orders are freight on board Cleveland, OH. Unless otherwise state shipping charges and insurance are the responsibility of the Purchaser. The shipping charges shown in the proposal are estimates and can vary from actual charges billed. iVideo reserves the right to insure shipments at the Purchaser's expense. Upon receipt of the item, Purchaser must inspect it for any and all damage incurred during shipping. It is the Purchaser's responsibility to notify iVideo within 24 hours of any shipping damage. iVideo takes no responsibility for damages caused in shipment.

Delays: iVideo is not liable fiscally or otherwise for delays caused by acts of weather, union strikes, civil disturbances, war, manufacturer's product availability, or other issues. iVideo will make its best efforts to make Purchaser aware of any delays. Delays during installation may cause additional labor charges. If an installation is delayed due to conditions outside the control of iVideo, Purchaser will be invoiced for items specifically ordered for the installation and are yet installed.

Installation: Unless otherwise noted in the quote, installation is the responsibility of the purchaser. For quotes that include installation, there will be an additional document Scope of Work that will indicate iVideo and Purchaser's specific responsibilities to the completion of the installation. The Scope of Work is to be signed by Purchaser before the order for installation is processed. Any changes from the Scope of Work requires a Change Order which may cause additional charges to Purchaser.

Business Insurance: All iVideo installation technicians are covered under workman's compensation insurance for the State of Ohio. iVideo is also a Drug Free Workplace. If required iVideo will supply Purchaser with proof of insurance. Any insurance that is required by Purchaser and is not of a type or value currently held by iVideo, the cost of that insurance will be the responsibility of Purchaser.

Validity: The quote is valid for a period of thirty days. After that time iVideo reserves the right to adjust any pricing. For install projects, if the Scope of Work or products purchased changes, iVideo retains the right to adjust the quote accordingly.

Terms and Conditions

Intellectual Property and Coding: The list of materials provide by iVideo constitute a "System" and is the intellectual property of iVideo, including, with limitation, any coding or other work product generated by iVideo in implementing the System. All coding is owned by iVideo and any copies of editable coding are excluded from this sale unless stated elsewhere in the Scope of Work. The quote cannot be shared with persons not employed by Purchaser. By requesting iVideo provide a quote, Purchaser enters into an agreement to bargain and negotiate in good faith. Providing details of the quote with parties outside of iVideo and the Purchaser's organization will constitute a breach of the Contract.

Purchaser Default: Each of the following constitutes an Purchaser Act of Default and a material breach of this Contract by Purchaser for which iVideo shall have the right to terminate the Contract: (1) Purchaser's unreasonably delay of iVideo in the commencement, prosecution, or completion of construction of the Project; (2) Purchaser fails to execute a Change Order required herein; (3) Purchaser fails to reasonably cooperate with iVideo in the selection of materials, coordination of work, and granting access to the Project; (4) Purchaser's voluntary filing of a petition for bankruptcy; (5) Purchaser's failure to pay all or any part of a payment due hereunder, Change Order, or the Total Contract Price when due; or (6) Purchaser's failure to perform any other material obligation contained herein.

Purchaser's Remedies: Purchaser's exclusive remedy due to iVideo's breach of this Contract is limited to the reasonable cost to repair iVideo's defective or substandard work.

Limitation of Claims & Remedies: NOTWITHSTANDING ANYTHING TO THE CONTRARY, IN NO EVENT SHALL ANY DAMAGES, INCLUSIVE OF ATTORNEYS' FEES AND COURT COSTS, AWARDED AGAINST iVideo TO Purchaser PURSUANT TO ANY CAUSE OF ACTION EXCEED THE TOTAL CONTRACT PRICE AND Purchaser RELEASES iVideo FROM ANY SPECIAL, INDIRECT, CONSEQUENTIAL, INCIDENTAL, ADDITIONAL, KNOWING, PUNITIVE, OR EXEMPLARY DAMAGES, INCLUDING, BUT NOT LIMITED TO, MENTAL ANGUISH, DIMINUTION OF VALUE, LOSS OF USE OR BENEFIT-OF-THE-BARGAIN, FORESEEFABLE OR NOT, ARISING OUT OF OR IN CONNECTION WITH ANY CLAIMS FOR BREACH OF CONTRACT, BREACH OF WARRANTY (EXPRESS OR IMPLIED), VIOLATIONS OF THE DECEPTIVE TRADE PRACTICES ACT, ANY TORT, OR ANY OTHER BASES OF LIABILITY. ANY ACTION OR CLAIM, REGARDLESS OF FORM, ARISING OUT OF THE TRANSACTIONS COVERED BY THIS CONTRACT OR CONSTRUCTION OF THE Project MUST BE BROUGHT WITHIN TWO YEARS AND ONE DAY OF THE DATE THE CAUSE OF ACTION ACCRUES.

Waiver Of Jury Trial: Purchaser AND iVideo KNOWINGLY AND VOLUNTARILY, WITH FULL AWARENESS OF THE LEGAL CONSEQUENCES, WAIVE THEIR RIGHT TO JURY TRIAL OF ANY DISPUTE.

Assignment, Conflicts & Invalidity of Provision. This Contract may not be assigned without the written consent of all parties hereto. In the event of any conflict between the Contract Documents and all other documents, the Contract Documents shall control. If any term, provision, covenant or condition of this Contract is held by a court of competent jurisdiction to be invalid, void or unenforceable, the remainder of the provisions shall remain in full force and effect and shall in no way be affected, impaired or invalidated.

Integration. The Contract Documents constitute the entire agreement of the parties concerning the subject matter hereof, supersede any prior agreement or representations made between Purchaser and iVideo, either written or oral, and may only be modified in writing. This Contract shall inure to the benefit of and be binding upon the parties hereto and their heirs, executors, administrators, grantees, successors and assigns.

Governing Law & Venue. This Contract and the performance of all the obligations set forth in this Contract shall be governed, construed, and enforced by the laws of the State of Ohio and this Contract shall be performable in the county where the Project is located. The venue for any lawsuit, claim, or arbitration arising out of this Contract shall be in Cuyahoga County, Ohio.

Waiver, Survival and Draftsmen. The terms and conditions contained herein and any attachments hereto may be waived only by written instrument executed by the party waiving compliance, save and except change orders. Any such waiver shall only be effective in the specific instance and for the specific purpose for which it is given and shall not be deemed a waiver of any other provision hereof. The terms and agreements set forth herein shall survive the termination and/or default of this Contract, Substantial Completion, closing, and payment in full of the Total Contract Price. The provisions of this Contract shall be construed without regard to the rule requiring adverse inferences to be drawn against the drafter of this Contract.

AGENDA ITEM COVER SHEET



Trustee Meeting Date:	Agenda Item Type:
October 10, 2023	Requisition Item
Submitted By:	
Arun Hindupur, Director of Public Works/Community Services	

Motion:
National Shotcrete LLC dba National Gunite - \$52,480.00 – Repair line storm water pipe on Olympia Fields Ct (CIP# 1620)

Background:
<p>In response to the ARPA Funding available for storm pipe repair, West Chester budgeted \$4,500,000.00 in 2023 to perform storm pipe maintenance throughout the Township. Outside of the Township’s annual storm pipe contract and the Cured In Place Pipe (CIPP) Lining contract through BCEO, a storm pipe on Olympia Fields Ct is in need of repair through a trenchless pipe rehabilitation methodology.</p> <p>Said methodology addresses storm pipe segments throughout the Township that are generally greater than 10’ deep and that are greater than 30” in diameter, which are not addressed through either the CIPP contract or the Township’s storm pipe contract.</p> <p>Community Services solicited quotes for the work and has selected National Shotcrete LLC dba National Gunite to perform the work. This specialty work can be completed using a liner in the existing storm pipe rather than digging up the pipes that are deep or around numerous utility lines. Lining the pipes, in this case, is more cost-effective and less disruptive. This contractor has performed work in West Chester previously.</p> <p>The Community Services requests a PO in the amount of \$52,480.00 for pipe repair.</p>

Finance	Budgeted Item:	Yes; CIP		
	CIP #:	1620		
	TIF Info:			
	Purchase Order:	23001611	Total Encumbrance:	\$ 52,480.00



111 ROOSEVELT BOULEVARD, JOHNSTOWN, PA 15906
PHONE: 814-533-5780 FAX: 814-535-5328

PROPOSAL

Date: September 13, 2023

Project: 5834 Olympia Fields Court

Contact: Jim Rigsby
Roads and Maintenance Superintendent
9577 Beckett Road, Suite 900
West Chester, OH. 45069
513-777-8765: Office
513-777-1813: Fax
jrigsby@westchesteroh.org

PROJECT TITLE:

Rehabilitate approximately two-hundred-twenty-five feet of 48" Corrugated Metal Pipe (CMP)

GENERAL SCOPE OF WORK:

National Gunite proposes to structurally rehabilitate approximately two-hundred-twenty-five feet (225') of 48" Corrugated Metal Pipe (CMP) with a 3:00 to 9:00 invert lining with a nominal 2-inches of 5,000 psi shotcrete at 28 days. Within the pipe there are nine (9) pipe joints/bands and at the time of inspection only two (2) of those nine bands were problematic, separated and/or rusted. National Gunite will place a full circumferential band of wire mesh and 5,000 psi shotcrete on both of those bands and inspect the remaining seven (7) * to ensure they are problem-free to ensure no issues in the future. The shotcrete will be enhanced with welded wire mesh reinforcement, as described below.

*If you would like the remaining seven bands, all nine bands, full circumferentially lined the pricing will be separated out and detailed on page 5.



We will include the following items if shaded:

MATERIALS:

- Gunite / Shotcrete
- Strongseal
- Pre-bag Material
- Concrete Additives
- Pressure Grouting (Cement-Based)
- Chemical Grouting
- Epoxy Injection
- Chimney Seals

REINFORCING:

- Reinforcing Mesh
- Reinforcing Steel
- Anchor Bolts
- Polypropylene/ Steel Fibers

CURING:

- Water Curing
- Compound Curing
- Natural Curing

SITE:

- Water to Our Tank
- Sanitary Facilities
- Scaffolding
- Traffic Control
- Safety Equipment
- Dewatering or Shoring
- Protection, Covering, or Cleaning
- Removal of Excess Sand
- Removal of Rebound
- Removal of Epoxy Injection Ports
- Confined Space Equipment

PREPARATION OF SURFACES:

- Chipping
- Sandblasting
- Water blasting
- Forms-Headers
- Excavation and Fine Grade
- Expansion Joints
- Weep Holes
- Removal of Manhole Steps

FINISH:

- Trowel & Broom
- Natural Gun
- Float
- Other

TESTING:

- Pre-Construction
- Water Test
- Vacuum Test
- Test Panels

SPECIAL CONDITIONS:

- Permits
- Performance & Payment Bond
- Certified Payroll

ANY ADDITIONAL ITEMS:

1. Grass and sinkhole restoration by others
2. West Chester to provide Water, if needed
3. West Chester to provide any setup area
4. West Chester to provide and traffic control
- 5.

DETAILED SCOPE OF WORK:

- A. PRELIMINARY SITE WORK** - Upon mobilizing to the site, National Gunite will cordon off our site staging area to protect and ensure the safety of any pedestrian and vehicular traffic.

Before entering the pipe, National Gunite will sample the atmospheric conditions as well as constantly monitor the air within the pipe in accordance with 29 CFR 1926 Code of Federal Regulations as it pertains to confined space entry. All National Gunite personnel have completed the necessary confined space training and meet all OSHA requirements and certifications.

- B. PIPE PREPARATION** - National Gunite will control the water flow within the pipe structure as well as dewater our work area within the confines of the pipe by constructing a temporary sandbag weir and directing the flow through an internal flume system.

The temporary PVC piping will carry the water past our work area, keeping it dry. The sand bag weir is designed so that, in the event of a major weather system, it will either overtop or collapse to allow the high flow to move through the existing corrugated metal pipe without back pooling.

As an alternative to the flume system, bypass pumping may be necessary. If so, the cost will be included in our proposal, and no additional charges will be assessed. Because flow is often reduced in the evening, we require the option of performing our work at night.

National Gunite will then clean and prepare the interior of the pipe. Heavy debris will be removed either mechanically or by hand. Any deteriorating sections of pipe will be removed by using cutting blade grinders and/or pneumatically powered saws.

Lastly, the entire pipe structure will be water blasted to remove all remaining dirt and debris to prepare the surface for the shotcrete application.

- C. REINFORCEMENT** – National Gunite will install a 2" x 2", 12-gauge galvanized, welded wire fabric blanket, anchored securely with self-tapping screw anchors placed on 24-inch centers each way. The fabric will be tied to the anchors with 16-gauge annealed tie wire.
- D. GUNITE WORK**- All work will be done in strict accordance with American Concrete Institute's 506 R95 Guide to Shotcrete. The shotcrete mix will be comprised of 1 cubic foot of Portland Type I-II cement mixed thoroughly with 3 cubic feet of ASTM C-33 concrete sand and enhanced with 7 lbs. of micro-silica. The dry ingredients will be

pneumatically projected through the shotcrete hose and hydrated with 4.5 gallons of potable water at the nozzle.

The mix will yield a compressive strength of 5,000 psi at 28 days. The freshly placed shotcrete will then be screeded, broomed, and allowed to naturally cure in the moist confines of the CMP.

All rebound will be removed from the pipe on a daily basis, and all debris created as the result of our operation will be removed from the sewer line and disposed of properly. Photographs will be provided of our finished work.

- E. RESULTS** - It is generally acknowledged throughout the pipe rehabilitation industry, as well as the Trenchless Technology circuit, that a shotcrete-lined pipe will yield a minimum of 50 to 75 years of additional life.

Also, Manning's coefficient (a measure of roughness) for corrugated metal pipe is about 0.022, while trowel-finished shotcrete is 0.012. The smoother surface more than compensates for the minor decrease in cross-sectional area that results from the guniting process.

PRICING:

In consideration of completing the work described above, we are to be paid the following amounts:

Mobilization *	\$ 1,500.
Rehabilitate approximately 225' of 48" CMP pipe as detailed above,	\$ 49,345.
<i>Optional: Full circumferential lining of the remaining (7) Joints</i>	<i>\$ 1,635.</i>

*If the work is completed this year, 2023, or next year, 2024, with any additional work National Gunite will discount or waive the mobilization charge.

WARRANTY: National Gunite guarantees our work, and shall remedy without cost to the Owner, any defects that may develop from our materials or workmanship for a period of one year from the date of final payment.

Terms: Net 30 days upon completion of project.

RESUMES OF MANAGEMENT PERSONNEL:**Paul M. Nikonow, P.E.****Vice President****Johnstown, PA**

1983 - 2012	Laurel Management
2012 - Present	National Gunite / Laurel Management

Paul has more than 30 years of utility construction experience. He has a BS in Civil Engineering, a MS in Mechanical Engineering, and has been a Registered Professional Engineer since 1986.

Tim Martin**Midwest Regional Director****Indianapolis, IN**

2006 - 2015	Trotter Construction Group
2015 - 2016	FOSO Construction, LLC
2016 - Present	National Gunite

Tim has extensive experience in all aspects of utility infrastructure and has held such positions as project engineer, estimator, project manager, business development director and operations manager.

Tim has spent the last 10 years rehabilitating sanitary sewer lines and structures in Louisville, KY, Columbus, OH and throughout the state of Indiana.

Shane Snyder**Vice President, East Regional Director****Turbotville, PA**

2006 - Present	National Gunite
----------------	-----------------

Shane has spent his entire Shotcrete career in pipeline rehabilitation and was promoted from foreman to superintendent in 2011 to Eastern Regional Director in 2017.

REFERENCES:

John Morgan
Manager - Special Projects
Citizens Energy Group
2020 N Meridian St, Indianapolis, IN 46202-1306
317-924-3311
<http://www.citizensenergygroup.com>

Daniel S. Deiseroth, P.E.
Executive Vice President
The Gateway Engineers
400 Holiday Drive, Suite 300
Pittsburgh, PA 15220
Office: 412-921-4030 ext. 110
ddeiseroth@gatewayengineers.com

Roger Hanas
Project Manager
Citizens Energy Group
2020 N Meridian St, Indianapolis, IN 46202-1306
317-924-3311
<http://www.citizensenergygroup.com>

Bob Carpenter
Service Representative
Insight Pipe Contracting
232 E. Lancaster Road
Harmony, PA 16037
Office: 724-452-6060
Cell: 412-292-4423
bob.carpenter@insightpipe.com

Eric Haenlein, P.E.
Layne Inliner
4520 North State Road 37
Orleans, IN 47452
Office: 812-865-3232
Cell: 317-439-4025
Eric.haenlein@layne.com

TERMS AND CONDITIONS:

A. GENERAL

1. This document represents the entire agreement between the Customer and National Gunite. It covers all of the work to be done under this proposal, and there are no prior representations, either verbal or written, that are outside of this proposal or contract. Any subsequent modification or change must be made in writing and signed by authorized representatives of both the Customer and National Gunite.
2. In the event that a purchase order and/or subcontract agreement is issued for the proposed work, the section above designated "Scope or Work" must be included on said purchase order or subcontract. Alternatively, this proposal may be attached to the purchase order or subcontract agreement.
3. This proposal does not become a contract until it is signed by the Customer and the Vice President of National Gunite.
4. It is agreed that National Gunite shall be permitted to prosecute work without interruption. For any delays created by the Owner/Contractor, their employees or their representatives, it is agreed that National Gunite shall be reimbursed for actual expenses and damages. These costs include but are not limited to labor, owned equipment, rented equipment, and applicable taxes.
5. National Gunite carries the following insurance coverage:

General Liability	\$1,000,000 each occurrence; \$2,000,000 aggregate
Umbrella Liability	\$10,000,000 each occurrence; \$10,000,000 aggregate
Automobile Liability	\$1,000,000 each accident
Workman's Comp.	\$1,000,000 each accident

B. LIMITATIONS & EXCLUSIONS

1. This proposal is based upon current prices and conditions and may be withdrawn if not accepted within fifteen (15) days.
2. Unless specifically noted otherwise, all National Gunite labor on this proposal is priced at non-prevailing wage rates.
3. Execution of the work covered by this proposal is contingent upon the nonoccurrence of strikes, fires, accidents, delays of carriers, delays in delivery of material or other unavoidable circumstances that are beyond the reasonable control of National Gunite.
4. National Gunite reserves the right to sublet any portion of this proposed work if determined to be appropriate.
5. This contract does not include any charges in the way of Federal, State or Municipal taxes which may be imposed upon this transaction. It is understood that if any such taxes do apply, they shall be paid by the Customer.

6. Unless specifically noted, the price contained in this proposal does not include performing any portion of the work during freezing weather. If any work is executed during freezing weather, the Customer shall provide all labor and material in connection with the heating and protection of National Gunite's work and materials. The Customer shall also reimburse National Gunite for the additional costs associated with winter operations.

E. TERMS

1. On or about the tenth (10th) day of each month of the project, the Customer shall pay National Gunite for ninety percent (90%) of the work that was completed during the previous month. Final and full payment shall be made within fifteen (15) days of completion of the project and upon submission of the final invoice.

2. If timely payment for work performed is not made as described above, National Gunite may, at its sole discretion, file the appropriate lien documents on the property described in this proposal.

D. CUSTOMER TO PROVIDE

1. The Customer shall be responsible for providing National Gunite with free access to the site, adequate space to receive and store materials, and sufficient space to enable the proper execution of the work described herein.

2. The Customer shall furnish artificial lighting, if required, and potable water to within fifty (50) feet of the cement gun.

3. The Customer agrees to provide and pay the cost of any and all surety, bonds and permits associated with the project.

ACCEPTANCE OF PROPOSAL:

Name of Company, Owner or Contractor

Date

Name of Individual (Signature)

Title

FOR NATIONAL GUNITE

Paul Nikonow, Vice President

AGENDA ITEM COVER SHEET



Trustee Meeting Date:	Agenda Item Type:
October 10, 2023	Requisition Item
Submitted By:	
Arun Hindupur, Director of Public Works/Community Services	

Motion:
Benchmark Land Management LLC - \$16,962.00 - Maintain UCB DDI infield landscaped areas

Background:
<p>To address the growth of vegetation and maintain aesthetics in the UCB DDI landscaping area before heading into the winter season, the Community Services department would like to have all the weeds maintained within the infield landscaped areas.</p> <p>Benchmark Land Management LLC was the original designer of the landscaped area in the interchange, has managed and maintained the area during construction, and is currently addressing erosion issues in the infield. As such, The Community Services Department requests a PO in the amount of \$16,962.00 for Benchmark Land Management LLC to control weeds in the UCB DDI landscaping area.</p>

Finance	Budgeted Item:	Yes; Operational, TIF		
	CIP #:			
	TIF Info:	508 (UCB Landscaping)		
	Purchase Order:	23001609	Total Encumbrance:	\$ 16,962.00

ESTIMATE



**Benchmark Land Management,
LLC**
9431 BUTLER WARREN ROAD
WEST CHESTER, OH 45069

dan@benchmarklm.com
513-808-2367

West Chester Township:I-75 & Union Centre DDI Landscape

Bill to

I-75 & Union Centre DDI Landscape
Maintenance Division
9577 Beckett Road Suite 900
West Chester
OH
45069

Ship to

I-75 & Union Centre DDI Landscape
Maintenance Division
9577 Beckett Road Suite 900
West Chester
OH
45069

Estimate details

Estimate no.: 1062
Estimate date: 09/18/2023

	Product or service	Amount
1.	Weeding Weeding all beds one time to get the weeds back under control. Spraying beds with a weed killer and pre emergent after weeds have been pulled.	\$16,962.00
	Total	\$16,962.00

Note to customer

Thank you for your business.

AGENDA ITEM COVER SHEET



Trustee Meeting Date:	Agenda Item Type:
October 10, 2023	Requisition Item
Submitted By:	
Arun Hindupur, Director of Public Works/Community Services	

Motion:
Emcor Facilities Services, Inc - \$14,240.28 – Repair sprinkler riser room at Safety Services Center

Background:
<p>On September 24, 2023, damage from two leaks was discovered at the Safety Services Center (SSC) sprinkler riser room, which is one of the main feeds for the facility’s fire suppression system. Upon further investigation, the secondary feed located in the lobby area of Community Services also showed signs of deterioration. Temporary patches have been implemented; however, without a permanent fix, system failure would result in the shutdown of the fire suppression system for the entire building.</p> <p>The Community Services requests a PO in the amount of \$14,240.28 for emergency repairs for the fire suppression system at the SSC.</p>

Finance	Budgeted Item:	No; Operational		
	CIP #:			
	TIF Info:			
	Purchase Order:	23001519	Total Encumbrance:	\$ 14,240.28



15 W. Voorhees St
Cincinnati, OH 45215
Phone 513-948-8469
Fax 513-821-7156

September 28, 2023

E0020R3

Arun Hindupur
West Chester Township

Reference: NE and SW Sprinkler Riser Room Repairs

Scope of Work:

Use S.A. Comunale to

Complete repairs of items found during 9-26-23 service call.

Fabricate 4" pipe piece with 4" welded outlet

63' of 2" pipe, 2 flow switches, mechanical tee's and couplers, 2 new 3 way valves and gauges, 2 new drain valves,

Fabricate 3' pipe peice with 3" welded outlet and 8"flange, new gaskets and bolts.

Plus labor

Material cost.. \$7,773.61

48 hrs of labor at \$127.78 per hour \$6,133.44

3 days truck and trip charge \$333.23

Total Labor cost \$6,466.67

Total price for this work is. \$14,240.28

John Puthoff
Viox Services, Inc.
759-7317

AGENDA ITEM COVER SHEET



Trustee Meeting Date:	Agenda Item Type:
October 10, 2023	Personnel Item
Submitted By:	
Rick L. Prinz, Fire Chief	

Motion:
Hire Diana Bussell to the position of Administrative Professional I effective October 2, 2023 at the hourly rate of \$18.00.

Background:
<p>The Fire Department recommends the Board consider hiring Diana Bussell for the position of Administrative Professional I, which has been vacant since May 2023. Ms. Bussell grew up in West Chester and worked as an Administrative Assistant for Ashley Ward, Inc. in Mason for 22 years. During her tenure with Ashley Ward, Ms. Bussell was responsible for office duties, giving her the experience and knowledge for the Administrative Professional I position.</p> <p>The Fire Department recommends the Board hire Diana Bussell to the position of Administrative Professional I, effective October 2, 2023, at the hourly rate of \$18.00 with a one-year probationary period.</p>

Finance	Budgeted Item:	N/A;		
	CIP #:			
	TIF Info:			
	Purchase Order:		Total Encumbrance:	\$.00



**WEST CHESTER TOWNSHIP
ADMINISTRATION**
9113 Cincinnati-Dayton Road
West Chester, OH 45069-3840

T | 513-777-5900
F | 513-779-9369

westchesteroh.org

August 29, 2023

Diana Bussell

Dear Diana,

I am pleased make a final offer of employment for the position of Administrative Professional I for West Chester Township. Although your official appointment will be October 10th, 2023 at a regular West Chester Board of Trustees' meeting with an effective hire date October 2nd, 2023, the commitment to you regarding compensation, benefits, and related provisions is outlined herein.

General

Position: Administrative Professional I
Employer: West Chester Township
Effective Hire Date: October 2nd, 2023
Probationary Period: 365 days commencing on Hire Date

Compensation

Base Salary: \$18.00 Per Hour

Benefits/Other Provisions

Medical/Dental/Vision: Employee may elect to receive medical benefits unless benefits can be or are currently obtained elsewhere. If eligible, plan options are currently offered with employee premium share currently at 16%. The plan options and employee premium share are subject to Employer discretion.

Insurance Waiver: Employee may elect to receive a \$2,000 annual stipend in lieu of Employer-offered medical coverage. Amount is subject to change at Employer's discretion.

Pension: Employee and Employer shares as determined by Ohio Public Employee Retirement System

Deferred Compensation: Plan provided at current federal maximum contribution.

Leave: Vacation As granted to all full-time non-contract Employees
Holidays Eleven (11) established holidays
Personal Twenty-four (24) hours annually

Sick Ten (10) hours accrued monthly

Longevity Pay At Employer's discretion, seventy-five dollars (\$75.00) per year after five (5) years of continuous service

Life Insurance: At Employer's discretion and as provided to other Employees - currently \$50,000 term life

Disability: As provided under Public Employee Retirement System.

Performance Merit Increase: At discretion of Township Administrator generally annually in July

Professional Development: As budgetary circumstances permit and when approved by the Township Administrator or at the discretion of the Township Administrator.

If you have any questions or need clarification on any item regarding the compensation package, please contact me.

Sincerely,



Larry D. Burks
Township Administrator

AGENDA ITEM COVER SHEET



Trustee Meeting Date:	Agenda Item Type:
October 10, 2023	Business Item
Submitted By:	
Kenneth Keim, Director of Finance	

Motion:
Motion to approve agreement between West Chester Township Board of Trustees and First Financial Bank for depository and banking services; and, authorize Township Administrator to make non-substantive changes with Law Director approval and execute said agreement

Background:																																			
<p>On April 11, 2023 the Board approved advertising for depository and banking services for January 1, 2024 to December 31, 2028. Over the last few months, staff has requested, reviewed, and evaluated local banking institutions’ proposals to provide depository and banking services for the Township.</p> <p>Six banks responded to the Request for Proposal and were considered by the evaluation team. The evaluation team considered Financial Strength, Governmental Experience, Relationship, On-line Capabilities, Cost, Interest, and Community Involvement.</p> <p>When considering all the evaluation criteria, First Financial Bank demonstrated the highest qualifications. The evaluation team is recommending selecting First Financial Bank as our provider for depository and banking services from January 1, 2024 through December 31, 2028.</p> <p>Evaluation Rankings</p> <table border="1"> <thead> <tr> <th></th> <th>Interest Estimate</th> <th>Finance Director</th> <th>Econ Dev Manager</th> <th>Finance Professional</th> </tr> </thead> <tbody> <tr> <td>First Financial</td> <td>\$142,757.68</td> <td>1</td> <td>1</td> <td>1</td> </tr> <tr> <td>Key Bank</td> <td>\$127,021.88</td> <td>3</td> <td>3</td> <td>3</td> </tr> <tr> <td>Huntington</td> <td>\$89,888.19</td> <td>5</td> <td>6</td> <td>4</td> </tr> <tr> <td>Fifth Third</td> <td>Not Available</td> <td>6</td> <td>4</td> <td>6</td> </tr> <tr> <td>Northside</td> <td>Not Available</td> <td>4</td> <td>5</td> <td>5</td> </tr> <tr> <td>JP Morgan</td> <td>\$127,137.97</td> <td>2</td> <td>2</td> <td>2</td> </tr> </tbody> </table> <p>Thank you for your consideration.</p>		Interest Estimate	Finance Director	Econ Dev Manager	Finance Professional	First Financial	\$142,757.68	1	1	1	Key Bank	\$127,021.88	3	3	3	Huntington	\$89,888.19	5	6	4	Fifth Third	Not Available	6	4	6	Northside	Not Available	4	5	5	JP Morgan	\$127,137.97	2	2	2
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JP Morgan	\$127,137.97	2	2	2																															

Finance	Budgeted Item:	N/A;		
	CIP #:			
	TIF Info:			
	Purchase Order:		Total Encumbrance:	\$.00

MEMORANDUM OF AGREEMENT FOR DEPOSIT OF PUBLIC FUNDS

This agreement ("Agreement") is between First Financial Bank, an Ohio state-chartered bank located and doing business in Butler County through an office in Butler County ("Bank"); and West Chester Township ("Depositor"), pursuant to which Depositor has accepted Bank's offer to serve as public depository for Depositor's active funds, interim funds, and inactive funds during the period from 1/1/2024 to 12/31/2028 inclusive (the "Current Term"). This Agreement applies to only to the period from the date hereof until the expiration of the Current Term.

Therefore, under this Agreement and during the Current Term only, the Depositor will appoint Bank as its depository and will deposit funds, and Bank will accept such deposited funds, as follows:

- a) active funds to a maximum of \$120,000,000 or any part thereof
- b) interim deposits a maximum of \$20,000,000 or any part thereof, and
- c) inactive deposits a maximum of \$30,000,000 or any part thereof,

as all are defined in Ohio Revised Code Section 135.01. For the service of making active funds accessible by demand, check, draft or other similar instrument, Bank may charge a reasonable fee, as enumerated under Section 135.16 of the Ohio Revised Code.

The total amount thus awarded under this Agreement is \$180,000,000 which does not exceed the limitations set forth under Chapter 135.03 of thirty percent (30%) of total assets.

For both interim and inactive deposits, the funds will be invested in certificates of deposit in such amounts and for such terms as are specified in the account opening documentation and Truth in Savings Disclosure provided by Bank to Depositor. If a certificate of deposit is renewed, it will carry the then prevailing interest rate at that time for the relevant certificate of deposit product. Renewal rates may be obtained from Bank during normal business hours.

Bank participates in the Ohio Pooled Collateral Program authorized by Section 135.182 of the Ohio Revised Code ("OPCP"). Under the OPCP, Bank pledges to the Treasurer of the State of Ohio ("TOS") a pool of eligible securities for the benefit of all public depositors at Bank to secure the repayment of uninsured public deposits at Bank. At all times, the total market value of the securities so pledged shall be at least equal to the amounts required by Section 135.182(B)(1)(a) and 135.182(B)(1)(b); however, Depositor and Bank can agree to a negotiated collateral floor pursuant to Section 135.182, and Depositor consents to the pledging of collateral by Bank equal to any minimum amount required by TOS, as such amount required by TOS may be changed from time to time, pursuant to such laws, rules and policies of TOS promulgated or adopted pursuant to such laws. If, on any day, the total market value of the securities pledged by the public depository is less than that specified in division (B)(1)(a) or (b) of this section, whichever is applicable, the public depository shall have two business days to pledge additional eligible securities having a market value sufficient, when combined with the market value of eligible securities already pledged, to satisfy the requirement of division (B)(1)(a) or (b) of this section, as applicable, to secure the repayment of all uninsured public deposits at the public depository.

Depositor authorizes Bank to transfer account information to TOS as necessary to participate in the OPCP. Bank and Depositor agree that Bank will comply with instructions originated by Depositor directing disposition of the funds on deposit with Bank without further consent or evidence of authorization by Depositor, and may otherwise exercise control over the deposited funds.

On the last business day of each month during the period that any funds awarded pursuant to this Agreement are on deposit with Bank, Bank will furnish a statement showing the balance of such active monies in its possession. Bank may charge a reasonable fee for providing monthly statements under this Agreement.

Bank agrees that it will comply with all the requirements of Ohio Revised Code, Chapter 135 and any amendments thereto, as well as the Ohio Pooled Collateral Program Administrative Rules. Bank also further agrees that it will abide by any other applicable state and federal laws, rules or regulations or any amendments thereunder. If any such laws, rules or regulations are changed or amended during Bank's term as a designated public depository, and if the change of laws, rules or regulations will cause this Agreement to become unlawful, at Bank's option, this Agreement shall be limited so as not to extend beyond the date when such change becomes effective.

As part of this Agreement, Depositor agrees to be subject to the rules which govern the accounts in which Depositor's funds are deposited. Also, Depositor agrees to provide Bank with the names and signatures of those persons authorized to execute drafts on and to make withdrawals from the accounts, and to provide such documentation establishing these persons' authority as Bank may request.

This Agreement may be executed in any number of counterparts and by different parties hereto in separate counterparts, each of which when so executed will be deemed to be an original and all of which taken together will constitute one and the same agreement. To the extent that any party executes this Agreement by facsimile or by e-mail delivery of a ".pdf" format data file, such signature shall create a valid and binding obligation of the party executing (or on whose behalf such signature is executed) with the same force and effect as if such facsimile or ".pdf" signature page was an original thereof. .

DEPOSITOR:

BANK:

West Chester Township

First Financial Bank

By: _____

By:  7/17/2023

By: _____

By: _____

Date: _____

Date: _____

AGENDA ITEM COVER SHEET



Trustee Meeting Date:	Agenda Item Type:
October 10, 2023	Business Item
Submitted By:	
Colonel Joel M. Herzog, Chief of Police	

Motion:
Motion to approve agreement between West Chester Township Board of Trustees and The City of Oxford for participation in the Butler County OVI Task Force; and, authorize Township Administrator to make non-substantive changes with Law Director approval and execute said agreement

Background:
<p>The Police Department is requesting the Trustees’ approval to renew the contractual agreement with the City of Oxford Police Department for the participation in the 2023-2024 Butler County OVI Task Force. The West Chester Police Department has participated in this program for many years.</p> <p>The City of Oxford has been the ‘sponsor’ for this task force for the past several years. The proposed agreement is the same agreement that has been used for the past several years. The police department will be compensated up to \$12,000.00 for targeted enforcement to decrease the number of incidences of OVI violation and related offenses.</p> <p>Thank you for your consideration</p>

Finance	Budgeted Item:	N/A;		
	CIP #:			
	TIF Info:			
	Purchase Order:		Total Encumbrance:	\$.00

**OVI COUNTYWIDE TASK FORCE
CONTRACT**

THIS AGREEMENT, entered into as of this 1st day of October, 2023, by and between The City of Oxford (hereinafter referred to as the "Lead Agency") and The West Chester Police Department (hereinafter referred to as the "sub-grantee"),
WITNESSETH:

WHEREAS, the Lead Agency has received a Butler County OVI Task Force grant from the Ohio Department of Public Safety (ODPS), Ohio Traffic Safety Office (OTSO) and is desirous of engaging the contract agency to provide targeted enforcement activity in completion of the aforementioned grant.

WHEREAS, the sub-grantee desires to participate in the Butler County OVI Task Force hereinafter, referred to as "Task Force" and to be reimbursed for its allowable expenses incurred by virtue of said expenses.

NOW, THEREFORE, the parties hereto do mutually agree as follows:

I. SERVICE RENDERED BY SUBGRANTEE

Targeted enforcement by sworn law enforcement officers done at approved problem sites determined by the Task Force "problem ID process." Targeted enforcement will be conducted in support of the Butler County OVI Task Force goals, which are to decrease the incidence of OVI violations, decrease the number of alcohol-involved injury crashes and alcohol-involved fatal crashes, use the low manpower OVI checkpoint model to conduct low-cost, highly effective OVI checkpoints throughout Butler County, zero tolerance enforcement of safety belt and child safety seat laws during enforcement efforts in targeted communities. In addition, the sub-grantee shall comply with the following:

- a. Law Enforcement Reports: The sub-grantee will report monthly enforcement activity on OTSO Law Enforcement Activity (GR-24A, GR-24B) forms to the Lead Agency agent, Peter M. Reising, (bcovitf@gmail.com) by the 10th calendar day of the following month. Justification for sites selected for enforcement activity should be documented and maintained as a part of the sub-grantee's file for this agreement.
- b. Data Collection and Analysis for Enforcement Site Selection: All law enforcement agencies participating in the Butler County OVI Task Force grant agree to collect current traffic crash data and arrest data. This data is to be submitted by the 28th calendar day of the following month to the Lead Agency agent, Peter M. Reising (bcovitf@gmail.com) to compile monthly data reports for the site selection process and justification for OVI enforcement. The data that is required is the date, time and location of 1) OVI arrests, 2) OVI crashes with injuries only and 3) OVI crashes with

fatalities. This is required every month whether or not there was any OVI grant overtime worked.

- c. **Training Certification:** The sub-grantee will assure that all enforcement personnel to be involved in approved enforcement-related activity will be certified in the following type(s) of training as appropriate:
 - i. Alcohol-related Traffic Enforcement, Sobriety Checkpoint Training, and SFST/ADAP Training: training in standard procedures and operations associated with staffing and staging OVI checkpoints and OVI patrols.
- d. **Enforcement Hours Eligibility:** Direct labor hours expended in traffic safety enforcement programs must be over and above the normal work week. Part-time permanent staff are eligible for funding. Only one officer per patrol car will be funded as part of traffic enforcement grants. Enforcement overtime must be between 18:00 hours (6 p.m.) and 06:00 hours (6 a.m.)
- e. **Safety Belt Policy:** Sub-grantee must have a policy statement requiring employees to wear safety belts. Sub-grantee must agree to conduct zero tolerance enforcement of Ohio's occupant restraint laws.
- f. **Required Activity:** All agencies utilizing overtime enforcement funds from the OTSO are required to participate in the "Click It or Ticket" (CIOT) mobilization and the "Drive Sober or Get Pulled Over" (DSOGPO) mobilization.
Tentative schedule dates for the mobilizations are:
CIOT- May 20 thru June 2, 2024
DSOGPO- August 16-25, 2024
- g. **Attendance at Monthly Meetings:** Sub-grantee agrees to have a representative participate in the monthly meeting, which is held the 2nd Wednesday of every month at the Fairfield Township Police Department at 10:00 a.m., for the planning of Task Force Activities countywide and media involvement.

II. **COMPENSATION AND PAYMENT**

Compensation shall be on the basis of direct costs based on actual activity completed, not to exceed **\$12,000.00**. This amount may be revised by the contracting parties. Reimbursement will be made for the actual costs, pre-approved fringe rate and fuel cost calculated at five percent (5%) of direct labor costs incurred in support of the Task Force Activities.

To be eligible for reimbursement, sub-grantee will complete and submit all reports described in I(A) by the 10th calendar day of the following month to the

Lead Agency agent (bcovitf@gmail.com) and I(B) by the 28th calendar day of the following month to the Lead Agency agent (bcovitf@gmail.com) .

The sub-grantee shall complete and submit a monthly invoice by the 10th calendar day of the following month to the Lead Agency agent (bcovitf@gmail.com), detailing name and rank of the police officers working the overtime activity, date and hours worked, overtime rate earned and check/warrant/voucher number of overtime payment, unless electronically transferred or direct deposit, then fill with "EFT or DD"

III. DELIVERY OF SERVICES

The sub-grantee will complete all work no later than September 30, 2024.

IV. SUBCONTRACTORS

The sub-grantee shall not subcontract, in whole or in part, with any other firm, partnership, corporation, or entity to perform the services to be done on the OVI Task Force without prior approval from the Lead Agency.

The sub-grantee warrants that it has not employed or retained any company or person other than a bona fide employee working solely for the sub-grantee to solicit or secure this agreement and has not paid or has not agreed to pay any fee, commission, percentage, brokerage fee, gift, or contingent fee in violation hereof.

V. MAINTENANCE OF RECORDS

Sub-grantee shall maintain all records pertaining to this agreement for a minimum of three years, pursuant to the requirements of the OTSO/Ohio Department of Public Safety. This agreement provides the right of any authorized representative of the federal or state government to audit and inspect any and/or all project-related records at all reasonable normal working hours during the contract period and for a period of three years after the completion of this contract.

The sub-grantee shall maintain worker's compensation and proof of liability insurance for its employees and autos operated by them for and during their employment. Certification of Insurance will be provided to the Lead Agency before the start of this agreement, if requested.

VI. ASSURANCE REGARDING PARENT CONTRACT

The provisions of the agreement include all of the conditions and assurances of the parent agreement GRANT # OVI-2024-OXFORD DIVISION OF POLICE-00007, dated October 1, 2023 between the Ohio Department of Public Safety and the Lead Agency and the additional sub-grantee provisions both of which are attached hereto as an appendix.

VII. SANCTIONS FOR NON-COMPLIANCE

Should sub-grantee fail to fulfill any of its contractual duties in a timely manner, the Lead Agency shall notify sub-grantee in writing as to such

deficiencies. Such notification shall be sent by certified mail, return receipt requested. Sub-grantee shall have 30 days to resolve such deficiencies, unless otherwise stated by the Lead Agency.

"The opinion, findings, and conclusions expressed in this publication are those of the author and not necessarily those of the State of Ohio, the National Highway Traffic Safety Administration, the Federal Highway Administration, or the Lead Agency."

VIII. SIGNATURES



Signature

Chief John Jones
Oxford Police Department

10-4-2023

Date

Signature

Chief Joel Herzog
West Chester Police Department

Date

State of Ohio Traffic Safety Office
Provisions for Sub-Grantee

The following are provisions that shall be used by the sub-grantee when entering into an agreement (contract) when funds administered by the Ohio Traffic Safety Office (OTSO) that total \$5,000 or more are used. This provision includes requirements of both the federal and state government.

Note: For clarification purposes, the word contractor is the agency, vendor, individual, etc., that the sub-grantee is contracting with for the desired scope of service.

PROVISION 1 Security Agreement Disclaimer

The sub-grantee warrants that he has not employed or retained any company or person other than a bona fide employee working solely for the Consultant to solicit or secure this agreement, and that he has not paid or has not agreed to pay any fee, commission, percentage, brokerage fee, or other considerations contingent upon or resulting from the awarding or making of this agreement.

For breach or violation of this warrant, the State, in conjunction with the sub-grantee, shall have the right to annul this agreement without liability, or in its discretion, to deduct from the agreement price or consideration, or otherwise recover the full amount of such fee, commission, percentage, brokerage fee, gifts, or contingent fee.

Either party may terminate this agreement by giving the other party written advance notice of its election to do so. If the contract is canceled under this provision, the sub-grantee shall reimburse the Contractor for all work completed and in progress to that date. Upon termination and final payment, all design materials, artwork any other items/products developed by the Contractor shall become the property of the sub-grantee.

PROVISION 2 Reporting Requirements

Performance reports will be required to be submitted by the contractor as frequently as required by the sub-grantee. Performance reports shall include brief information on (1) a comparison of actual accomplishments to the objectives established for the period and can include a computation of the cost per unit of output (2) the reasons for slippage if established objectives were not met (3) additional pertinent information including analysis and explanation of cost overruns or high unit cost.

PROVISION 3 Patent Rights/Copyrights

Neither the Contractor nor any of the Contractor's employees, agents, subcontractors or assigns shall make a disclosure for the purpose of securing a patent or copyright in the United States or any other country for any product resulting from this agreement unless such disclosures approved in writing by the sub-grantee prior to application for the patent/copyright. In the event that such patent/copyright is obtained, the Contractor shall provide the sub-grantee written authorization for the sub-grantee and any other person, agency or instrumentality contributing financial support to the work covered by this agreement to make use of the subject of the said patent/copyright disclosure without payment.

PROVISION 4 Audit Practices

The contractor agrees access by the grantee, the sub-grantee, the Federal grantor agency, the Comptroller General of the United States, or any of their duly authorized representatives to any books, documents, papers, and records of the contractor which are directly pertinent to that specific contract for the purpose of making audit, examination, excerpts, and transcriptions.

PROVISION 5 Equal Employment Opportunity (E.E.O.)

The sub-grantee and contractor must abide by all E.E.O. regulations, including but not limited to, Executive Order 11264 of September 24, 1965 "Equal Employment Opportunity" as amended by Executive Order 11375 of October 13, 1967 and as supplemented in Department of Labor regulations. (41 CFR Chapter 60) and Section 3(a)(2)(C) of the UMT Act of 1934, as amended, which prohibits the use of exclusionary or discriminatory specifications.

PROVISION 6 Certification Regarding Lobbying

None of the funds under this program will be used for any activity specifically designed to urge or influence a Federal, State, or local legislator to favor or oppose the adoption of any specific legislative proposal pending before any Federal, State, or local legislative body. Such activities include both direct and indirect (e.g. "grassroots") lobbying activities, with one exception. This does not preclude an official whose salary is supported with NHTSA funds from engaging in direct communications with State or local legislative officials, as long as this activity is documented in writing.

PROVISION 7 Labor Relations

The sub-grantee and contractor must comply with Sections 103 and 107 of the Contract Work Hours and Safety Standards Act (40 U.S.C. 327-330) as supplemented by Department of Labor regulations (29 CFR, Part 5).

PROVISION 8 Assurances Regarding the Parent Agreement

The provision of this agreement includes all of the terms and conditions and assurances of the parent agreement between the Ohio Department of Public Safety and the sub-grantee and is attached hereto as an Appendix. (The sub-grantee shall attach the parent agreement.)

PROVISION 9 Record Retention

The sub-grantee and contractor shall retain all required records for three years after grantee or sub-grantees make final payments and all other pending matters are closed.

PROVISION 10 Liability Disclaimer

The parties agree that the Ohio Department of Public Safety, Ohio Traffic Safety Office, is not the employer of any personnel involved in said contract. The sub-grantee agrees to pay any wages and related tax obligations resulting from employment of personnel in order to perform the terms of this contract.

PROVISION 11 Line of Credit

That the sub-grantee or contractor shall carry a credit line on the cover or first page of any report that reads substantially as follows:

"Funding provided in part or solely by the:
National Highway Traffic Safety Administration
Federal Highway Administration
Ohio Department of Public Safety
Ohio Traffic Safety Office

Studies, evaluations, etc., shall also include the following disclaimer.

"The opinions, findings, and conclusions expressed in this publication are those of the author and not necessarily those of, the National Highway Traffic Safety Administration, Federal Highway Administration, Ohio Department of Public Safety and the Ohio Traffic Safety Office."

AGENDA ITEM COVER SHEET



Trustee Meeting Date:	Agenda Item Type:
October 10, 2023	Business Item
Submitted By:	
Colonel Joel M. Herzog, Chief of Police	

Motion:
Motion not to object to a NEW C1, C2 liquor permit for Kuhlmanns Fine Meats & Market LLC, 9480 Cincinnati Columbus Road

Background:

Finance	Budgeted Item:	N/A;		
	CIP #:			
	TIF Info:			
	Purchase Order:		Total Encumbrance:	\$.00

NOTICE TO LEGISLATIVE
AUTHORITY

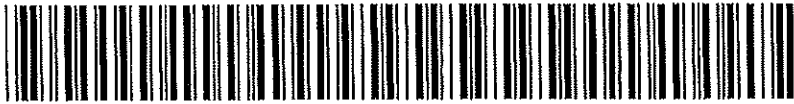
OHIO DIVISION OF LIQUOR CONTROL
6606 TUSSING ROAD, P.O. BOX 4005
REYNOLDSBURG, OHIO 43068-9005
(614)644-2300 FAX(614)644-3166

TO

4915188		NEW	KUHLMANNS FINE MEATS & MARKET LLC	
PERMIT NUMBER		TYPE	9480 CINCINNATI COLUMBUS RD	
ISSUE DATE		WEST CHESTER TWP		
09	15	WEST CHESTER OH 45011		
2023				
FILING DATE				
C1	C2	PERMIT CLASSES		
09	948	A	D91812	
TAX DISTRICT			RECEIPT NO.	

FROM 09/21/2023

PERMIT NUMBER		TYPE		
ISSUE DATE				
FILING DATE				
PERMIT CLASSES				
TAX DISTRICT			RECEIPT NO.	



MAILED 09/21/2023

RESPONSES MUST BE POSTMARKED NO LATER THAN. 10/23/2023

IMPORTANT NOTICE

PLEASE COMPLETE AND RETURN THIS FORM TO THE DIVISION OF LIQUOR CONTROL
WHETHER OR NOT THERE IS A REQUEST FOR A HEARING.

REFER TO THIS NUMBER IN ALL INQUIRIES A NEW 4915188

(TRANSACTION & NUMBER)

(MUST MARK ONE OF THE FOLLOWING)

WE REQUEST A HEARING ON THE ADVISABILITY OF ISSUING THE PERMIT AND REQUEST THAT
THE HEARING BE HELD IN OUR COUNTY SEAT. IN COLUMBUS.

WE DO NOT REQUEST A HEARING.

DID YOU MARK A BOX? IF NOT, THIS WILL BE CONSIDERED A LATE RESPONSE.

PLEASE SIGN BELOW AND MARK THE APPROPRIATE BOX INDICATING YOUR TITLE:

(Signature)

(Title)- Clerk of County Commissioner

(Date)

Clerk of City Council

Township Fiscal Officer

WEST CHESTER TOWNSHIP TRUSTEE
ATTN TOWNSHIP FISCAL OFFICER
9113 CINCINNATI DAYTON RD
WEST CHESTER OHIO 45069



WEST CHESTER POLICE DEPARTMENT LIQUOR PERMIT INVESTIGATION

JK

Date application received: <u>9/27/23</u>		Report date: <u>10/3/23</u>	
4915188 Liquor Permit Number		New Type of Permit Requested	
Applicant 1: <u>Alan M. Kuhlmann</u> Name <u>7020 Lindley Way</u> Address <u>Liberty Twp. OH. 45011</u> City, State, Zip Code		Local law enforcement history: No local history.	
Applicant 1: _____ Name _____ Address _____ City, State, Zip Code		Local law enforcement history:	
Applicant 1: _____ Name _____ Address _____ City, State, Zip Code		Local law enforcement history:	
Applicant 1: _____ Name _____ Address _____ City, State, Zip Code		Local law enforcement history:	

Description of projected location: **Kuhlmann's Fine Meats and Market is located at 9480 Cincinnati Columbus Rd. West Chester, OH. 45069. This location is a standalone building on the east side of Cincinnati Columbus Rd roughly one quarter mile north of Dimmick Rd. It occupies the building previously operating as Luigi's**

Diagram/Map attached: Yes

Description of projected business operation: **Kuhlmann's Fine Meats and Market will continue to operate as a meat store and deli. They plan on offering beer and wine to their patrons along with hosting periodic wine tastings.**

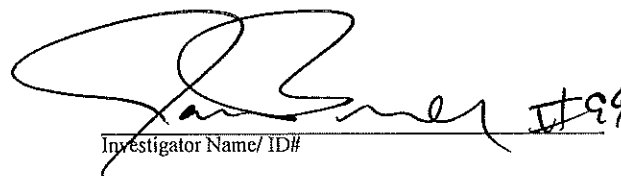
Public institutions within 500 feet of projected site (May object to permit issue) ex. Schools, Churches, Libraries, Public Playgrounds and Township Parks	
Additional Institutions should be listed in the investigator's narrative.	
1. Crestview Presbyterian Church	294 feet
Name of Institution	Distance
2.	
Name of Institution	Distance
3.	
Name of Institution	Distance

Impact on surrounding business: **There is no concern that the business will impact the surrounding area.**

Investigator's narrative: **On October 3, 2023 I went to 9480 Cincinnati Columbus Rd and spoke to Allen Kuhlmann the liquor permit applicant. Mr. Kuhlmann was polite and forthcoming with information. He explained that he purchased Luigi's several years ago. The purchase apparently included the rights to their liquor permit and Mr. Kuhlmann decided that as part of being a market that he would offer carry out beer and wine. They will continue to operate as a meat store, deli, market and catering. He currently leases the building and is under contract. The building is approximately 3000 square feet and can occupy 50 people. Although the permit only lists C1 and C2 for carryout Allen hopes to obtain a D8 permit as well in order to host wine tastings as a way to promote his business. Mr. Kuhlmann employs 12 persons one of which is under eighteen years old. Their hours of operation are Tuesday through Saturday 10am-6pm and Sunday 10am-5pm. He does not anticipate any impact on the surrounding area. There is one public institution within 500 feet. The office staff at Crestview Presbyterian Church was notified and instructed on how to object if they so choose to. Mr. Kuhlmann does not own any similar businesses or possess any other liquor permits.**

There are no concerns that the approval of this permit will have an adverse effect on public safety efforts. I see no reason to object to this application for C1 (Beer only in original sealed containers for carry out only) and C2 (Wine and mixed beverages in sealed container for carryout only) liquor permit.

Objecting to Liquor Permit? No If yes, please explain reason for objection:


 Investigator Name/ ID#

§ 4303.292. Grounds for refusal to issue, transfer or renew permit

(A) The division of liquor control may refuse to issue, transfer the ownership of, or renew, and shall refuse to transfer the location of any retail permit issued under this chapter if it finds:

(1) That the applicant, any partner, member, officer, director, or manager thereof, or any shareholder owning ten per cent or more of its capital stock:

(a) Has been convicted at any time of a crime which relates to fitness to operate a liquor establishment;

(b) Has operated liquor permit businesses in a manner that demonstrates a disregard for the laws, regulations, or local ordinances of this state or any other state;

(c) Has misrepresented a material fact in applying to the division for a permit;

(d) Is in the habit of using alcoholic beverages or dangerous drugs to excess, or is addicted to the use of narcotics.

(2) That the place for which the permit is sought:

(a) Does not conform to the building, safety, or health requirements of the governing body of the county or municipality in which the place is located. As used in division (A)(2)(a) of this section, "building, safety, or health requirements" does not include local zoning ordinances. The validity of local zoning regulations shall not be affected by this section.

(b) Is so constructed or arranged that law enforcement officers and duly authorized agents of the division are prevented from reasonable access to rooms within which beer or intoxicating liquor is to be sold or consumed.

(c) Is so located with respect to the neighborhood that substantial interference with public decency, sobriety, peace, or good order would result from the issuance, renewal, transfer of location, or transfer of ownership of the permit and operation thereunder by the applicant.

(d) Has been declared a nuisance pursuant to Chapter 3767. of the Revised Code since the time of the most recent issuance, renewal, or transfer of ownership or location of the liquor permit.

(B) The division of liquor control may refuse to issue or transfer the ownership of, and shall refuse to transfer the location of any retail permit issued under this chapter if it finds:

(1) That the place for which the permit is sought is so situated with respect to any school, church, library, public playground, or hospital that the operation of the liquor establishment will substantially and adversely affect or interfere with the normal, orderly conduct of the affairs of those facilities or institutions.

(2) That the number of permits already existent in the neighborhood is such that the issuance or transfer of location of a permit would be detrimental to and substantially interfere with the morals, safety, or welfare of the public, and, in reaching a conclusion in this respect, the division shall consider, in light of the purposes of Chapters 4301., 4303., and 4399. of the Revised Code, the character and population of the neighborhood, the number and location of similar permits in

the neighborhood, the number and location of all other permits in the neighborhood, and the effect the issuance or transfer of location of a permit would have on the neighborhood.

(C) The division of liquor control shall not transfer the location or transfer the ownership and location of a permit under division (B)(3)(b) of section 4303.29 of the Revised Code unless the permit is transferred to an economic development project.

(D) The division of liquor control shall refuse to issue, renew, transfer the ownership of, or transfer the location of a retail permit under this chapter if the applicant is or has been convicted of a violation of division (C)(1) of section 2913.46 of the Revised Code.

(E) The division of liquor control shall refuse to transfer the ownership of or transfer the location of a retail permit under this chapter while criminal proceedings are pending against the holder of the permit for a violation of division (C)(1) of section 2913.46 of the Revised Code. The department of job and family services shall notify the division of liquor control whenever criminal proceedings have commenced for a violation of division (C)(1) of section 2913.46 of the Revised Code.

(F) The division shall refuse to issue, renew, or transfer the ownership or location of a retail permit under this chapter if the applicant has been found to be maintaining a nuisance under section 3767.05 of the Revised Code at the premises for which the issuance, renewal, or transfer of ownership or location of the retail permit is sought.

Kuhlmann's Fine Meats & Market, 9480 Cin-Col. Rd. West Chester OH. 45069



Kuhlmann's Fine Meats & Market, 9480 Cin-Col. Rd. West Chester OH. 45069



AGENDA ITEM COVER SHEET



Trustee Meeting Date:	Agenda Item Type:
August 22, 2023	Resolution Item
Submitted By:	
Aaron Wiegand, Director of Community Development	

Motion:
Resolution 37-2023 approving Zoning Map Amendment and Preliminary Development Plan for Case #ZMA05-23-West Chester Plaza - Kroger Marketplace

Background:
<p>The West Chester Township Board of Trustees held a public hearing and first reading of Resolution 37-2023 on August 22, 2023. This final version of Resolution 37-2023 incorporates feedback from the Board of Trustees, including:</p> <ul style="list-style-type: none"> • The cross-access agreement concerning the new stoplight on Cox Road has been added to be the responsibility of the developer • Trash compaction and outdoor demolition may only occur between the hours of 6:00 am – 9:00 pm • A sound-absorbing screening wall has been added to the landscape mound near the loading docks • A circulating fountain has been added to the detention pond • A plan to mitigate outdoor noise disruptions during construction will be provided to the Zoning Commission at the Final Development Plan stage. <p>These changes have been reviewed by Frost Brown Todd and the developer and are agreeable to all parties.</p>

Finance	Budgeted Item:	N/A;		
	CIP #:			
	TIF Info:			
	Purchase Order:		Total Encumbrance:	\$.00

RESOLUTION NO. 37-2023

Resolution approving Zoning Map Amendment from R-PUD (Residential Planned Unit Development), C-PUD (Commercial Planned Unit Development District) and R-1A (Suburban Residence District) to C-PUD (Commercial Planned Unit Development) and Preliminary Development Plan for Case #ZMA05-23 – West Chester Plaza – Kroger MarketPlace

WHEREAS, on September 29, 1986, the Butler County Commissioners approved an R-PUD District and Preliminary Development Plan for a development of a church, school, recreation area, retirement center and a 86,000 square feet retail center, which included a Kroger grocery store on approximately 67 acres; and,

WHEREAS, on October 3, 1988, the Butler County Commissioners approved a Major Change to the PUD, which eliminated a proposed school building and some of the open space and recreation area and included the addition of approximately 96,000 square feet of commercial use and one outlot along Tylersville Road; and,

WHEREAS, on June 21, 2023, Anne McBride submitted an application requesting a Zoning Map Amendment from C-PUD (Commercial Planned Unit Development District), R-PUD (Residential Planned Unit Development District) and R-1A (Suburban Residence District to C-PUD (Commercial Planned Unit Development District) and a Preliminary Development Plan for approximately 118,337 square foot Kroger Marketplace retail/ grocer; 15,017 square foot multi-tenant retail building; a 9,275 retail building; and two open space lots for future development on approximately 28.5 acres; and,

WHEREAS, on July 11, 2023, the Butler County Planning Commission conducted a public hearing for the aforesaid application and recommended approval; and,

WHEREAS, on July 17, 2023, the West Chester Township Zoning Commission conducted a public hearing for the aforesaid application and recommended approval; and,

WHEREAS, by advertisement, a public hearing for the aforesaid application was conducted before the West Chester Township Board of Trustees on August 22, 2023, as applied for by Anne McBride; and,

WHEREAS, all those present for the hearing who wished to be heard voiced their opinions with respect thereto; and,

NOW THEREFORE, BE IT RESOLVED that on the basis of the above actions and findings, the West Chester Township Board of Trustees hereby approve the Zoning Map Amendment from C-PUD (Commercial Purpose Planned Unit Development District), R-PUD (Residential Planned Unit Development) and R-1A (Suburban Residence District) to C-PUD (Commercial Planned Unit Development District) and the corresponding Preliminary Development Plan with the following conditions:

SECTION 1. The permitted uses shall include the following principally permitted uses of the West Chester Township Zoning Resolution's (WCTZR) O-1, O-2, B-1, and B-2, Districts, Articles 18.021, 18.022, 18.023, 18.027, 19.022, 19.026, 19.027, 19.028 (excluding hospitals), 21.022, 21.023, 21.024, 21.028, 21.032, 22.022 (as accessory to the primary retail use and as illustrated on the Preliminary Development Plan (PDP)) and 22.0210 (excluding night clubs and only within Retail Building B as illustrated on the PDP and subject to Final Development Plan (FDP) approval).

- *Public and non-profit parks, Office buildings, Banks, Daycare centers, Public buildings, Research facilities, Art galleries/studios, Veterinarian offices, Medical offices, Convenience business, Personal service business, Restaurants, Fast-casual restaurants, Private clubs, Outdoor dining areas, One (1) accessory automobile fuel station, and One (1) Drive-thru restaurant.*

SECTION 2. A Traffic Impact Study (TIS) shall be approved by West Chester Township (WCT) prior to all subsequent FDP. All recommendations of the approved TIS and suggestions of the Butler County Engineer's Office (BCEO), as approved by WCT, shall be incorporated into each corresponding FDP to the extent said requirements are necessary as a result of traffic generated by the subject site.

SECTION 3. A vehicular cross-access agreement between the property owners of Parcels M5620180000006 and M5620180000037, which corresponds to the proposed shared access drive to the signalized intersection of Cox Road and the proposed "Main Access Drive" for the subject site, shall be agreed upon by both property owners. The easement agreement shall be recorded with the Butler County Recorder's Office and a copy of the recorded

easement agreement shall be provided prior to the issuance of a zoning certificate.

SECTION 4. All public right-of-way dedications, to include access ways, internal roads, and pedestrian facilities shall be coordinated and constructed as required by the BCEO and WCT standards for public roads. Additionally, parking shall be prohibited on all public roadways during snow events.

SECTION 5. The portion of Parcel M5610-014-000-063, which is not included in the subject site, shall be split off and consolidated into the adjacent lot for retainment of the existing access way to that lot prior to the issuance of a zoning certificate. The FDP shall reflect this requirement and illustrate it when submitted, as well. In the event this portion of Parcel M5610-014-000-063 is not split off, existing easements shall be maintained.

SECTION 6. A draft Reciprocal Easement Agreement (REA) document shall be provided at the FDP stage. The REA shall provide legal vehicular cross-access throughout the C-PUD district and to adjacent properties.

SECTION 7. Detailed site civil engineering plans, including grading plans and stormwater drainage plans and calculations shall be coordinated with the BCEO at the FDP stage.

SECTION 8. A recirculating pump and fountain feature shall be installed within the retention basin, which shall be consistent with the requirements of the OEPA Rainwater and Land Development Manual, in order to mitigate any detrimental effects due to stagnate waters.

SECTION 9. Detailed water and sanitary sewer main installation and sanitary lateral plans shall be coordinated with the Butler County Water and Sewer Department at the FDP stage to include the following:

- a) Existing private fire service to be properly abandoned;
- b) All unused services from the lot consolidation process to be properly abandoned; and
- c) Existing ERU's associated with this site shall remain.

SECTION 10. A high water table note shall be required to be added to any final plat if the basements are constructed.

SECTION 11. A food facility plan shall be submitted to the Butler County Health Department for all new facilities at the permitting stage.

SECTION 12. The applicant shall coordinate with the West Chester Township Fire Department (WCTFD) at the permitting stage in regard to access ways and internal roadways; connections and locations of fire hydrants; fire lane requirements; and all other applicable building and fire codes, to specifically include the following:

- a) All roadways must support weight of safety service vehicles and meet safety service vehicle turning radius requirements;
- b) Underground fire protection water main shall be a looped system and have isolation valves in locations approved;
- c) Private fire hydrants shall be installed with National Standards threads;
- d) Each building shall have an independent, dedicated Fire Department connection with location approved and individual post indicator valves to isolate fire protection;
- e) All structures shall be located within 400 feet of a fire hydrant;
- f) The street names will need to be submitted for approval at the FDP or permitting stage;
- g) All roads between 20 and 26 feet in width shall be posted "No Parking-Fire Lane." Any streets between 26 and 30 feet in in width shall be posted "No Parking -Fire Lane" one on side of the streets;
- h) Additional fire lanes shall be coordinated with the Fire Department at the FDP stage;
- i) Timeline expectations for fire safety, protection and access shall be coordinated at the permitting stage;
- j) Construction shall comply with all applicable fire codes and standards;
- k) No landscaping or vegetation shall extend into drivable areas, including a 13' 6" minimum canopy clearance for mature trees; and
- l) No landscaping or vegetation shall be permitted to be planted or have mature growth within 3 feet or 3 feet above a fire hydrant.

SECTION 13. The parking ratios shall only be approved at the FDP stage. A parking matrix for each site shall be provided for each FDP, which meets the WCTZR parking requirements.

SECTION 14. The amount of open space shall only be approved at the FDP stage. The percentage of open space for the overall PUD site shall be noted on the initial FDP and the percentage of open space shall be noted for each subsequent FDP site.

SECTION 15. Any open space lots shall be designated as such on the record, subdivision plat.

SECTION 16. Building setbacks shall be approved at the FDP stage.

SECTION 17. Colored building elevations for each building wall shall be provided at the FDP stage.

SECTION 18. All building walls shall contain a minimum of 50% high-quality masonry materials.

SECTION 19. Detailed floor plans shall be provided at each FDP stage.

SECTION 20. Outdoor seating area plans shall be provided at each FDP stage. A minimum of four (4) feet shall be maintained between the back of street curb and the seating area to ensure adequate pedestrian circulation.

SECTION 21. Outdoor display and sales shall only be permitted for the Kroger building and accessory uses of the Kroger site, subject to the following conditions:

- a) Limited to areas under a permanent canopy, awning or roof that is attached to the principle building, as long as a five (5) foot pedestrian walkway is maintained at all times;
- b) Display area shall not exceed 50% of the building's length of any wall adjoining the display areas location;
- c) Any outdoor display sales at the fuel center shall be reviewed at the FDP stage and shall only be permitted if it is very limited in nature and incorporated into the design of the kiosk.

SECTION 22. Any dumpster locations and dumpster enclosure details shall be provided at each FDP stage. The enclosures shall be pursuant to the West Chester Township Zoning Resolution (WCTZR), Articles 10.031 and 20.043. The enclosure(s) shall be consistent with the high-quality, masonry building materials of the principle building. Dumpster enclosures shall not be located along the public frontages and in a manner to reduce detrimental impacts to residents.

SECTION 23. Trash compaction and collection for the Kroger MarketPlace shall only occur between the hours of 6:00 AM and 9:00 PM.

SECTION 24. A detailed landscaping plan shall be provided at the FDP stage, which consists of adequate landscape screening of the adjacent residential district; any building rear wall that is highly visible from the roadways; throughout any open space areas; building perimeter landscaping details; and ground sign perimeter landscaping details.

SECTION 25. The fifty (50) foot wide buffer area located south of the Kroger store shall include a six (6) foot high berm and plantings with the exception of the buffer area located approximately one-hundred and ninety-five (195) feet east of the Cox Road right-of way. From that point one-hundred and fifty (150) feet east, the buffer area shall contain a fence with sound attenuating surface panels in addition to a six (6) foot high berm and six (6) foot high evergreen trees within the one-hundred and fifty (150) foot long buffer area.

SECTION 26. The existing, mature tree-line located along the south boundary of the PUD district shall be maintained and/or shall be supplemented with evergreen vegetation that adequately screens the boundary.

SECTION 27. The current sign plan shall be permitted, excluding signs E and F, as illustrated on the PDP. A note shall be provided to the FDP to indicate a shut-off timer for signs E and F between an adequate timeframe to be determined by the Zoning Commission at the FDP stage.

SECTION 28. All other signage, to include Retail Buildings A and B and the undeveloped lots shall be subject to the West Chester Township Zoning Resolution (WCTZR), Article 17 for office uses and Article 20 for retail uses, excluding freestanding signs for Retail buildings A and B, which were not permitted.

SECTION 29. A complete sign plan shall be provided at the FDP stage, to include a site plan illustrating ground sign locations and building elevations illustrating building sign locations. All signage details, including illumination, shall be provided at the FDP stage.

SECTION 30. All light locations and light fixture details shall be provided at each FDP stage to ensure a consistent design that minimizes glare and light spillover.

SECTION 31. All wall-mounted lights shall be directed upward or downward and shall not be mounted in a manner that is directed outward toward the adjacent residential subdivision to the south.

SECTION 32. A draft Declaration of Covenants, Conditions, Restrictions, and Reservations of Easements (DCCRRE), which includes the property owners' association (POA) for the proposed PUD district shall be provided to the WCTCDD for review at the FDP stage. The record DCCRRE shall also include the record, subdivision plat as a supplemental exhibit to the DCCRRE and a copy of which shall then be provided to the WCTCDD for the case file records prior to the issuance of the final zoning certificate.

SECTION 33. The DCCRRE shall include a section, which corresponds to a reciprocal easement agreement to designate and allow for cross-access throughout each lot.

SECTION 34. The property owner(s) and/ or the POA shall be responsible for keeping all common features and elements well-maintained and free from trash and litter; maintaining all drainage ways to ensure the retention areas perform the designated function; and all landscaping shall be well maintained in good condition and all major landscaping beds shall be irrigated with a permanent system prior to the issuance of a final zoning inspection.

SECTION 35. Any outdoor demolition and/or construction for the entire subject site shall only occur between the hours of 6:00 AM and 9:00 PM.

SECTION 36. A temporary construction road and vehicle staging area shall be illustrated on each FDP, which shall be designed to support all construction traffic in all weather conditions. All roadways to access the site shall be maintained free of any dirt, debris, dust, etc. due to the construction of the site.

SECTION 37. All measures to reduce detrimental effects to the adjacent properties due to construction activities shall be stated within a document and provided at the FDP stage.

BE IT FURTHER RESOLVED that all plats, plans, applications, and other data submitted are hereby incorporated into this approval.

Adopted this 10 day of October, 2023.

Ann Becker, Chair Yes/No

Lee Wong, Vice Chair Yes/No

ATTEST:

Mark S. Welch, Trustee Yes/No

Bruce Jones, Fiscal Officer

APPROVED AS TO FORM:

Donald L. Crain, Law Director



WCT Board of Trustees Staff Report

August 22, 2023

CASE NO. ZMA 05-23

WEST CHESTER PLAZA; KROGER MARKETPLACE

REQUEST: Zoning Map Amendment - District Reclassification

FROM: C-PUD (Commercial Planned Unit Development District), R-PUD (Residential Planned Unit Development District) and R-1A (Suburban Residence District)

TO: C-PUD (Commercial Planned Unit Development District)

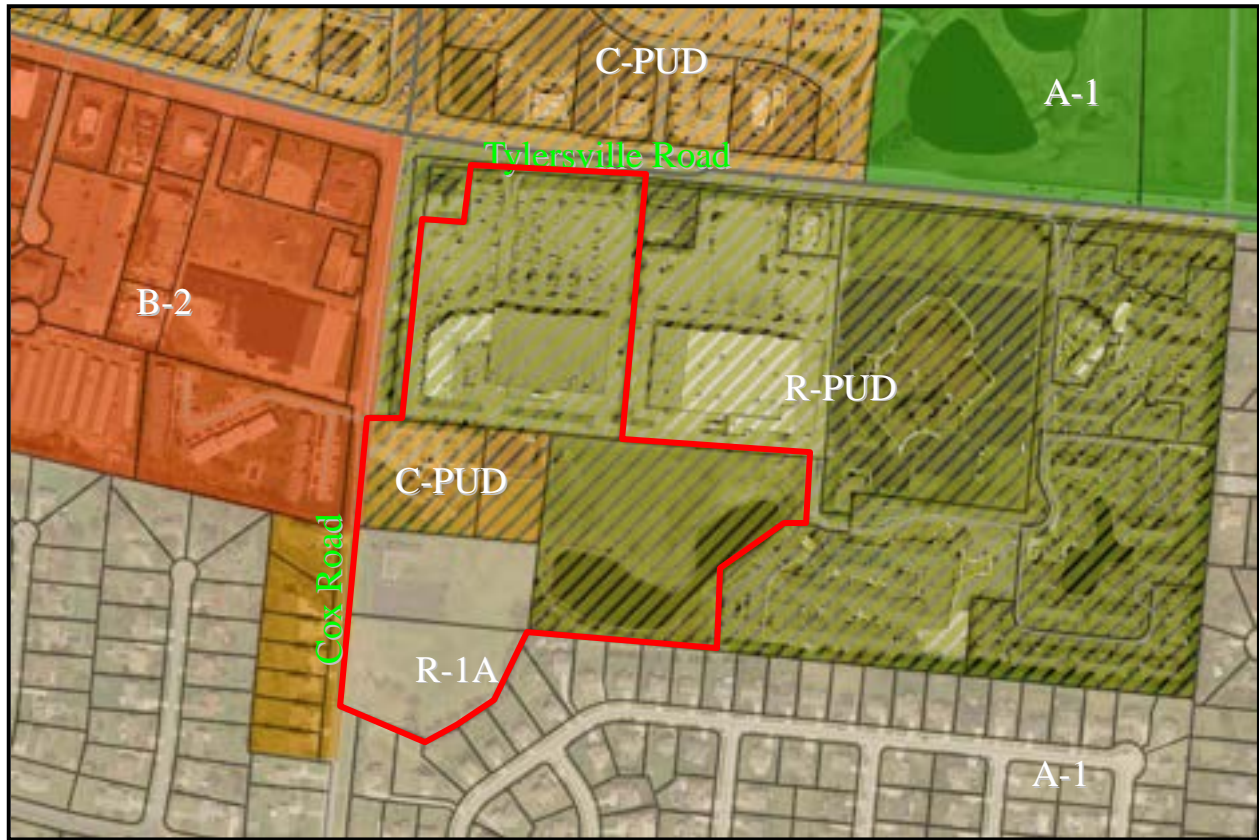
PROPERTY OWNERS: Regency Centers Corp., Kroger Limited Partnership I, Carepointe West Chester, LLC and Providence Bible Fellowship

APPLICANT: Anne McBride

LOCATION: The site is located along Cox Road and Tylersville Road. (Parcels M56200339000001, M5610014000021, 026, 063, 022 & 025- Section 17, Town 3, Range 2).

SITE DESCRIPTION: The site consists of six (6) parcels totaling 24.6 acres. The site contains an existing Kroger grocery store and parking area, two abandoned buildings and a vacant lot containing a retention basin, all on separate lots.

CURRENT ZONING:

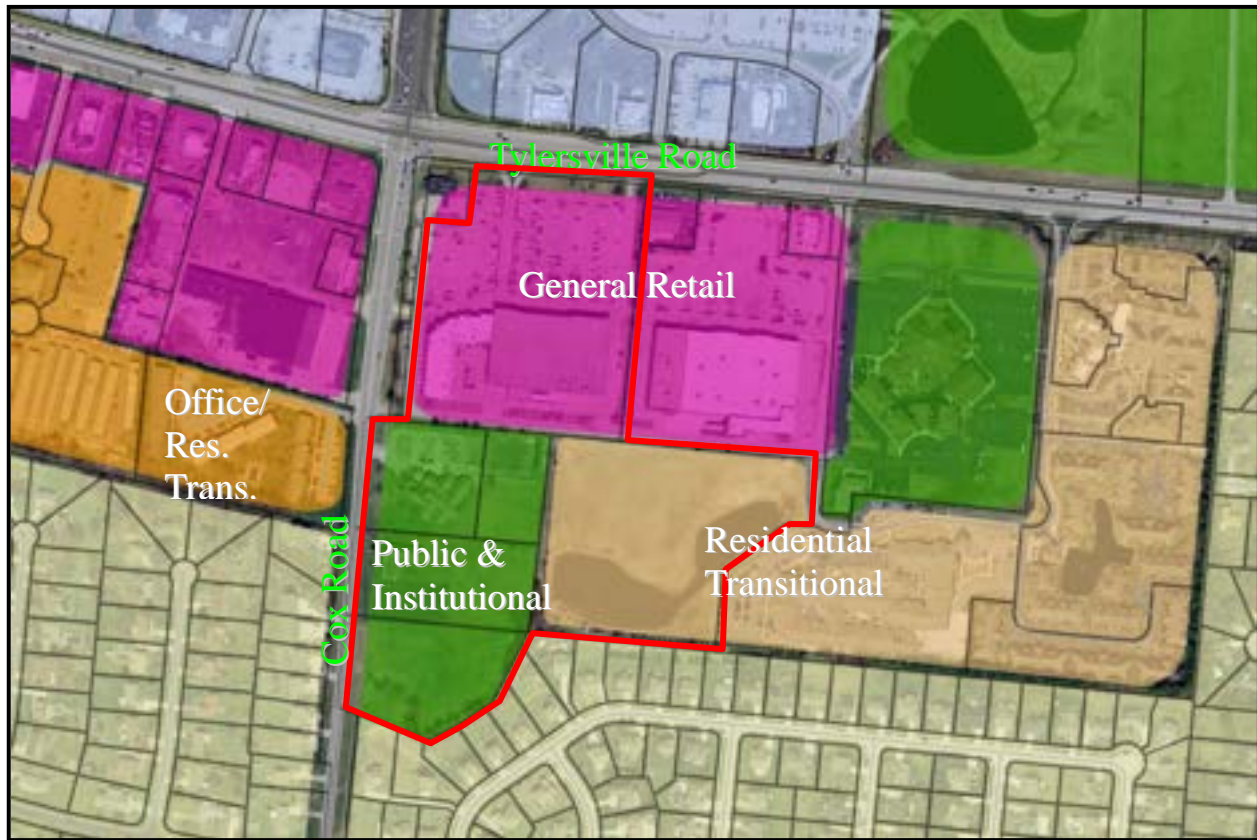


**SURROUNDING
CONDITIONS:**

Existing Zoning

North:	C-PUD	(Commercial Planned Unit Development District)
East:	B-2	(General Business District)
South:	R-1A	(Suburban Residence District)
West:	B-2	(General Business District)

Proposed Land Use Map:



The 2013 West Chester Township Comprehensive Land Use Plan (CLUP) proposes General Retail, Residential Transitional and Public/ Institutional as the adopted land use classifications for the subject site.

However, the current update to the CLUP is underway and current recommendations for the subject site are General Retail and Office/ Residential Transitional, which is consistent with recent zoning map amendments and the current proposal.

APPLICANT'S PROPOSAL:

The site phasing and construction timeline has not been designated at this time. The applicant is proposing re-development of the site to offer an expansion of retail goods and services, to include a grocer with a fuel station, two (2) multi-tenant retail buildings, and two future development sites located to the south of the grocery building.

Retail/ Grocer	122,910 sf
Accessory Fuel Station	18 dispensing locations
Multi-tenant Retail	24,292 sf
122,910 sf of Retail/ Grocer parking	
640 parking spaces provided	410 parking spaces required (1/ 300 sf)
Fuel Station parking	
18 dispensing spaces provided	18 dispensing spaces required
24,292 sf of Retail/ Restaurant parking	
137 parking spaces provided (1/300 sf of retail & 1/ 150 sf of restaurant)	97 parking spaces required (1/ 300 & 150 sf & 6 stacking spaces for drive-thru)
Total parking provided	
777 parking spaces provided	507 parking space required
35.4 % provided throughout the PUD site	20% open space required for commercial sites

**STAFF
CONSIDERATIONS:**

The proposed Preliminary Development Plan (PDP) is consistent with current recommendations to the CLUP development characteristics. The proposed intensity of the current uses are consistent with the recommended extent of the General Retail classification. However, the two (2), southernmost undeveloped lots included in the PDP would be located in a commercial to residential “Transitional” classification. Therefore, any future development of these lots within the current PUD district would require an application for a Major Change to the PUD, which will require another legislative process before the Board of Trustees.

A Traffic Impact Study (TIS) has been submitted to the Butler County Engineer's Office (BCEO). They have indicated R/W dedications and offsite improvements have been recommended to include all proposed road widening and intersection improvements along the site access ways and the intersection at Kingsgate and Cox Road. However, consideration should be given to only require those roadway improvements that the proposed site would impact. A review of the TIS will require further coordination for approval prior to the FDP stage and the developer will be responsible for any construction improvements outlined in the approval.

Further coordination will be required at the FDP stage in order to address the pedestrian paths, cross-walks and the bike path within the R/W dedications in addition to the preliminary drainage report and the County subdivision regulations.

The applicant has illustrated the PUD district boundary is excluding a portion of Parcel M5610-014-000-063. Therefore, this portion of the parcel should be split off and consolidated into the adjacent lot for retainment of the existing access way to that lot prior to the issuance of a zoning certificate. The FDP should reflect this requirement and illustrate it when submitted, as well.

The Butler County Water and Sewer Department has indicated any abandonment and reconnection of services will have to be coordinated at the FDP stage. Additionally, all existing ERU's associated with the site will remain.

The Butler County Health Department has indicated a food facility plan will need approval at the permitting stage.

The applicant is proposing adequate pedestrian facilities throughout the new district. However, detailed cross-walk designs will need to be coordinated with the West Chester Township Community Services Department and the BCEO to ensure a proper pedestrian connection along Cox Road.

With the assumption that future restaurant tenants would like to propose outdoor seating areas, consideration should be given to require an adequate distance between the seating areas and the street; thereby, ensuring pedestrian circulation along the walkways is maintained.

Outdoor display and sales is typical of this type of use. Therefore, additional consideration has been given to regulate the areas in order to maintain a well-appointed site and maintain consistency with previous approvals.

The applicant has provided a sign plan and preliminary landscape plan at this time, as well. The proposed signage is consistent with typical requirements and previous approvals, except some consideration should be given to the signs E and F,

which are internally-illuminated entrance signs to the drive-throughs located on the east side of the Kroger building. The signs are directed at the adjacent residential district and could be detrimental. Therefore consideration should be given to require a shut-off during late night hours and further landscape screening along the south boundary.

The Butler County Planning Commission held a public hearing on July 11th and the Township Zoning Commission held a public hearing on July 17th and given all considerations in regard to the existing conditions; the proposed use in relation to the surrounding character; and the overall general welfare of the County and Township, the Commissions recommended approval of the zoning map amendment and the proposed preliminary development plan with corresponding conditions.

All further details, such as the buildings materials, landscaping, trash collection areas, lighting, and signage will be addressed at the FDP stage.

The property owner(s) of record will be responsible for maintaining all common features and elements throughout the site. Otherwise, a Declaration of Covenants, Conditions, and Restrictions and Reservation of Easements (DCCRRE), which establishes a property owners' association (POA) and defines cross-access, shared parking, and maintenance responsibilities for all common features will be established to perform those responsibilities.

ACTION: The West Chester Township Board of Trustees may approve, approve with modifications, or deny the submitted Zoning Map Amendment and Preliminary Development Plan, unless additional information is deemed necessary to make an informed decision.



Application for a
ZONING MAP AMENDMENT TO A PUD DISTRICT



WEST CHESTER COMMUNITY DEVELOPMENT DEPARTMENT
9577 BECKETT ROAD SUITE 100 WEST CHESTER, OHIO 45069-5014

A. APPLICANT INFORMATION NAME: <u>Anne F. McBride, FAICP</u> PHONE: (513) <u>673-4225</u> ADDRESS: <u>5721 Dragon Way, Suite 300</u> CITY/ST/ZIP: <u>Cincinnati, OH 45227</u> EMAIL: <u>amcbride@mcbridedale.com</u> APPLICANT IS THE: <input type="checkbox"/> PROPERTY OWNER <input checked="" type="checkbox"/> AGENT <input type="checkbox"/> OPTIONEE	DATE OF APPLICATION	CASE #	
B. PROPERTY INFORMATION PROPERTY ADDRESS (IF ANY): <u>7840 Cox Road, 7900 Cox Road, and 7938 Cox Road</u> CITY/ST/ZIP: <u>West Chester Township, OH 45069</u> SECTION: ___ TOWN: ___ RANGE: ___ PARCEL #: <u>M (SEE BELOW)</u> - ___ CURRENT USE OF PROPERTY (CHECK ALL THAT APPLY): <input checked="" type="checkbox"/> COMMERCIAL <input type="checkbox"/> RESIDENTIAL <input type="checkbox"/> AGRICULTURAL <input type="checkbox"/> OTHER			PAYMENT INFORMATION FEE AMOUNT: \$750.00 RECEIPT #: _____ RECEIVED BY: _____
C. PROPERTY ZONING CURRENT ZONING OF PROPERTY: <u>P-PUD, SP-PUD, R-1</u> REQUESTED ZONING OF PROPERTY: <input checked="" type="checkbox"/> C-PUD <input type="checkbox"/> R-PUD <input type="checkbox"/> I-PUD <input type="checkbox"/> SP-PUD TOTAL ACRES OF PROPERTY TO BE REZONED: <u>29.4 acres</u>			
D. PROPERTY OWNER INFORMATION (LIST ALL PARCELS AND PROPERTY OWNERS THAT ARE INCLUDED WITH THIS APPLICATION)			
1. PARCEL #: <u>M 5620339000001</u> - _____ NAME: <u>Regency Centers Corp</u> PHONE: () _____ - _____ ADDRESS: <u>PO Box 2539, San Antonio, TX 78299</u>			
2. PARCEL #: <u>M 5610014000021 & 5610014000026</u> NAME: <u>Kroger Limited Partnership I</u> PHONE: (513) <u>235-0918</u> ADDRESS: <u>1014 Vine Street, Cincinnati, OH 45202</u>			
3. PARCEL #: <u>M 5610014000063</u> - _____ NAME: <u>Carepointe West Chester LLC</u> PHONE: () _____ - _____ ADDRESS: <u>8073 Tylersville Road, West Chester OH 45069</u>			
4. PARCEL #: <u>M 5610014000022 & M5610014000025</u> NAME: <u>Providence Bible Fellowship</u> PHONE: () _____ - _____ ADDRESS: <u>7000 Summerhill Drive, West Chester, OH 45069</u>			
E. DESCRIPTION OF REQUEST <u>Requesting a zone map amendment from R-PUD, SP-PUD, and R-1 to the C-PUD District to develop a new Kroger store, fuel center, and retail uses with outdoor seating and drive through components.</u> _____ _____			

As the Applicant, I do hereby agree that I am the Property Owner, or I am submitting this application on behalf of the Property Owner with their knowledge and understanding. Furthermore, I hereby certify that the information and statements provided on this application, drawings and specifications are true and correct to the best of my knowledge and belief. I understand that all information submitted with this application will be assumed to be correct and the Applicant shall assume responsibility for any errors and/or inaccuracies resulting in an improper application.

Applicant Signature: Date: 6.20.23
 Printed Name: Anne F. McBride, FAICP



Submission Instructions and Requirements for a
ZONING MAP AMENDMENT TO A PUD DISTRICT



DESCRIPTION OF REQUEST AND REASONS FOR ZONING MAP AMENDMENT FORM

THE APPLICANT SHOULD PREPARE DEFINITIVE STATEMENTS REGARDING THE FOLLOWING:

1. WHAT ARE THE SPECIFIC CHANGES IN THE CHARACTER AND CONDITIONS OF THE AREA WHICH HAVE OCCURRED TO MAKE THE PROPERTY NO LONGER SUITABLE OR APPROPRIATE FOR THE EXISTING ZONING CLASSIFICATION OR TO MAKE THE PROPERTY APPROPRIATE FOR THE PROPOSED ZONE DISTRICT?

Please see attached project description.

2. WHAT IS THE BENEFIT THAT THE NEIGHBORHOOD OR COMMUNITY AS A WHOLE WILL DERIVE FROM THIS ZONE CHANGE?

Please see attached project description.

3. WILL THE SITE BE ACCESSIBLE FROM PUBLIC ROADS WHICH ARE ADEQUATE TO CARRY THE TRAFFIC THAT WILL BE IMPOSED UPON THEM IF THE REZONING IS GRANTED, OR WILL ROAD IMPROVEMENTS BE REQUIRED?

Please see attached project description.

4. HAS THIS REZONING BEEN DISCUSSED WITH REGARD TO TRAFFIC DESIGN WITH THE BUTLER COUNTY ENGINEER'S OFFICE? WHEN? WHO?

Please see attached project description.

5. IS THE PROPERTY CURRENTLY OR CAN IT BE SERVICED BY PUBLIC SEWER AND WATER AND CAN PROPER DRAINAGE BE PROVIDED?

Please see attached project description.

6. WHAT IS THE ANTICIPATED PROPOSED USE PROPERTY AND CHARACTER (ARCHITECTURAL TREATMENT) OF THE DEVELOPMENT?

Please see attached project description.



Submission Instructions and Requirements for a
ZONING MAP AMENDMENT TO A PUD DISTRICT




PROPERTY OWNER'S AFFIDAVIT

STATE OF OHIO
COUNTY OF BUTLER

I (we) Providence Bible Fellowship

hereby certify that we are all of the owners of the real estate which is the subject of the pending zoning application; that we hereby consent to the Zoning Commission of West Chester Township approving a development plan for the subject real estate. We understand that our application will be considered and processed in accordance with the regulations as set forth by the West Chester Community Development Department and Zoning Resolution; that we agree to accept, fulfill and abide by those regulations and all stipulations and conditions attached to the Final Development Plan. I (we) authorize West Chester Township to place a Public Meeting notification sign on the property. I (we) authorize West Chester Township staff and board members to enter and inspect the property. The statements and attached exhibits are in all respects true and correct to the best of my/our knowledge and belief.


Signature
Providence Bible Fellowship Rick Jones
Printed Name
7000 Summerhill Drive
Mailing Address
West Chester, OH 45069
City, State, Zip Code
513-330-1583
Phone

Subscribed and sworn to before me this 8th day of June 2023



JULIE A. SHEETS
NOTARY PUBLIC - OHIO
MY COMMISSION EXPIRES
09-19-26


Notary Public

Person to be contacted for details other than signatory:

Anne F. McBride, FAICP 5721 Dragon Way, Suite 300, Cincinnati, OH 45227 513-673-4225
Printed Name Address/City/St/Zip Phone



Submission Instructions and Requirements for a
ZONING MAP AMENDMENT TO A PUD DISTRICT



PROPERTY OWNER'S AFFIDAVIT

STATE OF OHIO
COUNTY OF BUTLER

I (we) Regency Centers Corp

hereby certify that we are all of the owners of the real estate which is the subject of the pending zoning application; that we hereby consent to the Zoning Commission of West Chester Township approving a development plan for the subject real estate. We understand that our application will be considered and processed in accordance with the regulations as set forth by the West Chester Community Development Department and Zoning Resolution; that we agree to accept, fulfill and abide by those regulations and all stipulations and conditions attached to the Final Development Plan. I (we) authorize West Chester Township to place a Public Meeting notification sign on the property. I (we) authorize West Chester Township staff and board members to enter and inspect the property. The statements and attached exhibits are in all respects true and correct to the best of my/our knowledge and belief.



Signature

Regency Centers Corp

Printed Name

PO Box 2539

Mailing Address

San Antonio, TX 78299

City, State, Zip Code

630-645-2800

Phone

Subscribed and sworn to before me this 7th day of JUNE 2023




Notary Public

Person to be contacted for details, other than signatory:

Anne F. McBride, FAICP

5721 Dragon Way, Suite 300, Cincinnati, OH 45227

513-673-4225

Printed Name

Address/City/St/Zip

Phone



Submission Instructions and Requirements for a
ZONING MAP AMENDMENT TO A PUD DISTRICT

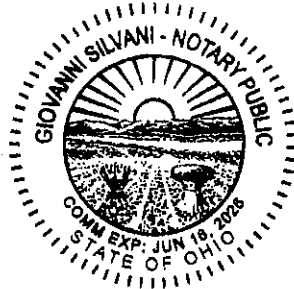


PROPERTY OWNER'S AFFIDAVIT

STATE OF OHIO
COUNTY OF BUTLER

I (we) Carepointe West Chester LLC

hereby certify that we are all of the owners of the real estate which is the subject of the pending zoning application; that we hereby consent to the Zoning Commission of West Chester Township approving a development plan for the subject real estate. We understand that our application will be considered and processed in accordance with the regulations as set forth by the West Chester Community Development Department and Zoning Resolution; that we agree to accept, fulfill and abide by those regulations and all stipulations and conditions attached to the Final Development Plan. I (we) authorize West Chester Township to place a Public Meeting notification sign on the property. I (we) authorize West Chester Township staff and board members to enter and inspect the property. The statements and attached exhibits are in all respects true and correct to the best of my/our knowledge and belief.



Signature
Carepointe West Chester LLC
Printed Name
8073 Tylersville Road
Mailing Address
West Chester OH 45069
City, State, Zip Code

Phone

Subscribed and sworn to before me this 8th day of June 2023

Notary Public

Person to be contacted for details, other than signatory:

Anne F. McBride, FAICP 5721 Dragon Way, Suite 300, Cincinnati, OH 45227 513-673-4225
Printed Name Address/City/St/Zip Phone



Submission Instructions and Requirements for a
ZONING MAP AMENDMENT TO A PUD DISTRICT



PROPERTY OWNER'S AFFIDAVIT

STATE OF OHIO
COUNTY OF BUTLER

I (we) Kroger Limited Partnership I

hereby certify that we are all of the owners of the real estate which is the subject of the pending zoning application; that we hereby consent to the Zoning Commission of West Chester Township approving a development plan for the subject real estate. We understand that our application will be considered and processed in accordance with the regulations as set forth by the West Chester Community Development Department and Zoning Resolution; that we agree to accept, fulfill and abide by those regulations and all stipulations and conditions attached to the Final Development Plan. I (we) authorize West Chester Township to place a Public Meeting notification sign on the property. I (we) authorize West Chester Township staff and board members to enter and inspect the property. The statements and attached exhibits are in all respects true and correct to the best of my/our knowledge and belief.

Lisa Ammons
Signature Sr. Real Estate Manager, Asset Management
Lisa Ammons
Printed Name
1014 Vine Street
Mailing Address
Cincinnati, OH 45202
City, State, Zip Code
513-235-0918
Phone

Subscribed and sworn to before me this 19th day of June 2023

[Signature]
Notary Public



Person to be contacted for details: Notary Public, State of Ohio
My Commission Expires 11-21-2024

Anne F. McBride
Printed Name
5721 Dragon Way, Suite 300, Cincinnati, OH 45227
Address/City/St/Zip
513-673-4225
Phone

**Kroger/Regency Development
7840, 7900, and 7938 Cox Road
West Chester Township, OH**

Project Description and Zone Map Amendment Justification

Kroger and Regency Center have assembled 29.4 acres of property consisting of six parcels at the southeast corner of Tylersville Road and Cox Road. The properties are currently zoned a combination of “R-PUD” Residential Planned Development, “SP-PUD” Special Purpose Planned Development, and “R-1A” Residential District. They have been developed as a Kroger store and additional retail/service uses (which are nonconforming), a former library, and a church.

A zone map amendment is being requested to allow the property to be redeveloped with a 122,910 square foot Kroger Marketplace store and fuel center along with 24,292 square feet of retail space. An additional 4.7+/- acres south of the proposed Kroger store has been reserved for future development. A total of 777 parking spaces are proposed for the site, which exceeds the 491 spaces required. The Preliminary Development Plan includes 10.4 acres (35.4%) of open space with a minimum of 5.7 acres (19.4%) being permanent open space.

The proposed Kroger Marketplace will include a number of features not currently available at the existing Kroger store. The new store will include expanded offerings in many departments including produce, deli, meats, etc. Murray’s Cheese and Starbucks will be included in the store along with the offering of apparel and a kitchen place. The store will include 16 online shopping pick up spaces located at the southeast corner of the building and two pharmacy drive-thru lanes on the east side of the store. This Kroger building will be their most current store design done in shades of grey with blue accents. The front façade is broken up with the inclusion of different building materials, architectural features, and color. Front elevation signage is minimal with only a “Kroger Market Place” (555 square feet), “Starbucks” (29 square feet), and a Pickup/Pharmacy Drive Thru (96 square feet) sign.

A Kroger fuel center will be included on the northwest portion of the site featuring nine fuel pump islands (18 dispensing locations). The fuel center canopy and kiosk will be done in earthtone colors with masonry on the canopy columns, kiosk, and dumpster enclosure. The “Kroger” logo (18.25 square feet) will appear on both the north and south fuel canopy elevations along with the fuel prices (30.3 square feet).

The northeast portion of the site will be developed with two buildings containing a total of 24,292 square feet of area. Tenants for these buildings will be a mix of retail, service uses, and restaurants with the potential for outdoor dining and one drive thru use. These buildings will continue the design theme of clean modern architecture using a variety of materials in earthtone colors. Tenant building signage is proposed on all four facades of the two buildings as indicated on the elevations. Signage for the development will include a freestanding sign on Tylersville west of the right-in/right-out access point. The sign will contain 143 square feet at 23 feet in height and is designed to complement the development design. Two ground mounted signs are proposed for Cox Road. A Kroger fuel center sign will be located north of the right-in/right-out

south of the fuel center which will be 9'6" in height with 44 square feet of area. A second ground mounted sign for the development will be north of the south access point on Cox Road and will be 10'6" feet tall and contain 55 square feet of sign area. All the signs will be on cast stone bases and located in landscape beds.

Per the requirements for a PUD zone map amendment, we would offer the following information:

1. The existing mixture of zoning districts on the site does not represent nor permit the existing retail uses or allow for the proposed use of the property. Other previous land uses on the site have either ceased operating as public/institutional uses or are not being utilized as fully as they once were. While this portion of the Township has seen significant growth in both residential and commercial development in recent years, it is still served by a 66,523 square foot Kroger store that was built in 1988. The proposed zone map amendment to "C-PUD" would not only permit the existing retail use of the property, it would allow for the redevelopment of the center to better service the West Chester community and eliminate the nonconforming uses.
2. The West Chester community and surrounding neighborhoods will benefit from the creation of a new development on the site with updated landscaping and site design. Uses incorporated in the development such as the drive thru pharmacy, expanded Kroger pickup, Starbucks, and increased variety of retail goods will increase the convenience of day-to-day shopping and living in this portion of the Township.
- 3/4. The applicant has prepared a Traffic Impact Study for the proposed development and has been working with Matt Loffler at the Butler County Engineers Office. Any needed roadway improvements are actively being discussed with Butler County.
5. The property is currently served by both public water and sewer. The existing on site detention has been expanded to meet current Butler County stormwater regulations.
6. Previously Addressed.

We believe that the requested "C-PUD" zone map amendment for the 29.4 acres will not only make the retail use of the property conforming, as opposed to its current nonconforming status, it will create a cohesive contemporary development that will better serve the residents of West Chester obtaining their daily needs. The proposed development will offer more goods and services to this part of the Township in a manner consistent with the expectations of today's consumers.

Legal Description – Zone Change Area – 29.40 Acres (Gross)

Situated in Section 11, Town 3, Range 2, West Chester Township, Butler County, Ohio, and being more particularly described as follows;

Commencing at the southeast corner of Lot 1 of West Chester Plaza, Section One, as recorded in Plat Envelope 1668, pages A & B, of the Butler County, Ohio Recorder's Records; thence South 84° 04' 47" East, 521.19 feet; thence South 05° 19' 04" West, 173.47 feet; thence North 84° 02' 55" West, 41.62 feet; thence South 50° 23' 03" West, 91.97 feet; thence South 54° 02' 58" West, 133.16 feet; thence South 05° 23' 36" West, 224.44 feet; thence North 84° 01' 33" West, 514.11 feet; thence South 27° 09' 23" West, 221.41 feet; thence South 56° 36' 33" West, 142.00 feet; thence South 67° 19' 23" West, 73.65 feet; thence North 68° 42' 52" West, 275.42 feet to the centerline of Cox Road; thence along said centerline, North 05° 33' 13" East, 1377.58 feet; thence departing said centerline, South 84° 54' 30" East, 198.29 feet; thence North 05° 05' 30" East, 216.48 feet to the centerline of Tylersville Road; thence along said centerline, South 84° 12' 30" East, 528.22 feet; thence departing said centerline, South 05° 55' 13" West, 787.55 feet to the point of beginning.

The above described tract contains 29.40 Acres of land and is subject to all easements, restrictions, and legal right of ways of record.

This description was prepared from existing records and is not the result of a field survey. This description is to be used for rezoning purposes only.

I hereby certify that this description of the property to be rezoned is a complete, proper, and legal description thereof.



Robert W. Trenkamp, Registered Land Surveyor #6452 in Ohio

Surrounding Property Owners

Subject Properties

1. Parcel ID: M5620339000001

Mailing:
Regency Centers Corporation
C/O Property Tax Dept
PO Box 2539
San Antonio, TX 78299

2. Parcel ID: M5610014000021

Mailing:
Kroger Limited Partnership I
Attn Real Estate Dept
1014 Vine Street
Cincinnati, OH 45202

3. Parcel ID: M5610014000026

Mailing:
Kroger Limited Partnership I
1014 Vine Street
Cincinnati, OH 45202

4. Parcel ID: M5610014000022

Mailing:
Providence Bible Fellowship
7000 Summerhill Drive
West Chester, OH 45069

5. Parcel ID: M5610014000025

Mailing:
Providence Bible Fellowship
7000 Summerhill Drive
West Chester, OH 45069

6. Parcel ID: M5610014000063

Mailing:
Carepointe West Chester LLC
8073 Tylersville Road
West Chester, OH 45069

Property Owners Within 200 Feet

1. Parcel ID: M5610014000034

Mailing:
Kohls Illinois Inc.
PO BOX 2148
Milwaukee, WI 53201

2. Parcel ID: M5620180000037

Mailing:
Tylersville OH LLC
16600 Dallas Parkway Suite 300
Dallas TX 75248

3. Parcel ID: M5620162000096

Mailing:
New Horizons Relocation and Property
Mgmt LTD
3847 Little Country Road
Parrish, FL 34219

4. Parcel ID: M5620211000055

Mailing:
Peter B & Lori Anne Ebel
8003 Spring Garden Court
West Chester OH 45069

5. Parcel ID: M5610014000022

Mailing:
Providence Bible Fellowship
7000 Summerhill Drive
West Chester, OH 45069

6. Parcel ID: M5620162000092

Mailing:
James Michael Martin & Amy M Martin
7687 Quail Hollow Court
West Chester, OH 45069

7. Parcel ID: M5620162000095

Mailing:
Douglas R Corns
5797 Cincinnati Dayton Road
Middletown OH 45044

8. Parcel ID: M5620180000033

Mailing:
Midwest Waffles Inc
5986 Financial Drive
Norcross GA 30071

9. Parcel ID: M5620211000052

Mailing:
Khalil I Ilfanov
8013 Spring Garden Court
West Chester OH 45069

10. Parcel ID: M5620339000001

Mailing:
Regency Centers Corporation
C/O Property Tax Dept
PO Box 2539
San Antonio TX 78299

11. Parcel ID: M5620339000002

Mailing:
PNC Realty Services
C/O Invoke Tax Partners
PO Box 850
Aurora, OH 44202

12. Parcel ID: M5620442000003

Mailing:
FCPT Hospitality Properties LLC
Trudy Blakeman Darden Restaurants
Inc.
1000 Darden Center
Orlando FL 32832

13. Parcel ID: M5620442000021

Mailing:
MCP VOA I & III LLC
Mid Atlantic
8044 Montgomery Road, Suite 370
Cincinnati, OH 45236

14. Parcel ID: M5610014000063

Mailing:
Carepointe West Chester LLC
8073 Tylersville Road
West Chester OH 45069

15. Parcel ID: M5620162000094

Mailing:
JWB Rentals LLC
6910 Roberts Park Drive
Mason, OH 45040

16. Parcel ID: M5620180000006

Mailing:
Kingsgate KT Village Apartments LLC
10118 Summit Avenue
Cincinnati, OH 45241

17. Parcel ID: M5620180000009

Mailing:
First Financial Bank
Corporate Facilities
255 E 5th Street, Suite 900
Cincinnati, OH 45202

18. Parcel ID: M5620211000056

Mailing:
Mahmound & Lamia Shalash
7993 Spring Garden Court
West Chester, OH 45069

19. Parcel ID: M5610014000021

Mailing:
Kroger Limited Partnership I
Attn: Real Estate Dept
1014 Vine Street
Cincinnati, OH 45202

20. Parcel ID: M5620211000053

Mailing:
Guam T Bui & Jennifer L Smith-Bui
7818 Kingsgate Way
West Chester, OH 45069

21. Parcel ID: M5620442000004

Mailing:
RLG Flag City LLC
10050 Innovation Drive, Suite 100
Miamisburg, OH 45342

22. Parcel ID: M5610014000026

Mailing:
Kroger Limited Partnership I
1014 Vine Street
Cincinnati, OH 45202

23. Parcel ID: M5610014000029

Mailing:
Butler County Board of Commissioners
315 High Street, FL 6
Hamilton, OH 45011

24. Parcel ID: M5610019000036

Mailing:
Kenneth I Dunning
7995 Cox Road
West Chester, OH 45069

25. Parcel ID: M5620442000002

Mailing:
MCP VOA I & III, LLC
Mid Atlantic
8044 Montgomery Road, Suite 370
Cincinnati, OH 45236

26. Parcel ID: M5620162000098

Mailing:
Douglas R Corns & Tina Qualkenbush
Corns
5797 Cincinnati Dayton Road
Middletown OH 45044

27. Parcel ID: M5620442000005

Mailing:
MCP VOA I & III, LLC
Mid Atlantic
8044 Montgomery Road, Suite 370
Cincinnati, OH 45236

28. Parcel ID: M5610014000025

Mailing:
Providence Bible Fellowship
7000 Summerhill Drive
West Chester, OH 45069

29. Parcel ID: M5610014000035

Mailing:
Sumerel Fam Irrevocable T
Bob Sumerel Tire & Service LLC
12 W Central Parkway
Cincinnati, OH 45202

30. Parcel ID: M5620162000093

Mailing:
George W Meinberg
4467 Maxwell Drive
Mason, OH 45040

31. Parcel ID: M5620162000097

Mailing:
Douglas Corns
5797 Cincinnati Dayton Road
Middletown OH 45044

32. Parcel ID: M5620211000057

Mailing:
Zachary John Smith
7983 Spring Garden Court
West Chester, OH 45069

33. Parcel ID: M5620211000060

Mailing:
Palakurthi Nikhil Kumar &
Nagaraju Shruthi Arenur
7953 Spring Garden Court
West Chester, OH 45069

34. Parcel ID: M5620211000058

Mailing:
Scott M Hovest
7973 Spring Garden Court
West Chester, OH 45069

35. Parcel ID: M5620211000064

Mailing:
Nguyen Quynh & Dinh Thuy
7913 Spring Garden Court
West Chester, OH 45069

36. Parcel ID: M5620211000062

Mailing:
Henry Phillip M & Jilly R
7933 Spring Garden Court
West Chester, OH 45069

37. Parcel ID: M5620211000065

Mailing:
LeeKuo-Chung Mark & Yi-Chi H
7903 Spring Garden Court
West Chester, OH 45069

38. Parcel ID: M5620211000059

Mailing:
Bitleuova Assem & Aktleuov Olzhas
7963 Spring Garden Court
West Chester, OH 45069

39. Parcel ID: M5610014000064

Mailing:
Hillandale SNF & AL LLC
8073 Tylersville Road
West Chester, OH 45069

40. Parcel ID: M5620211000063

Mailing:
Sar Yakup
7923 Spring Garden Court
West Chester, OH 45069

41. Parcel ID: M5620211000061

Mailing:
Ryan Morgenroth
7943 Spring Garden Court
West Chester, OH 45069

42. Parcel ID: M5620211000066

Mailing:
Ann C McMackin
7893 Spring Garden Court
West Chester, OH 45069

43. Parcel ID: M5620211000057

Mailing:
Erin Altergott Cherry
& Zachary John Smith
7983 Spring Garden Court
West Chester, OH 45069

44. Parcel ID: M5620211000068

Mailing:
Susan and Roche McGreevy
7873 Spring Garden Court
West Chester, OH 45069

45. Parcel ID: M5610014000001

Mailing:
Pisgah Community Ch of the Nazarene
7951 Tylersville Road
West Chester, OH 45069

46. Parcel ID: M5620211000058

Mailing:
Paul F and Carol A Albin
7883 Spring Garden Court
West Chester, OH 45069

Project		Catalog #		Type	
Prepared by		Notes		Date	



Lumark

Prevail Petite Wall

Wall Mount Luminaire

Interactive Menu

- Ordering Information [page 2](#)
- Mounting Details [page 3](#)
- Product Specifications [page 3](#)
- Energy and Performance Data [page 4](#)
- Control Options [page 5](#)

Product Certifications



Quick Facts

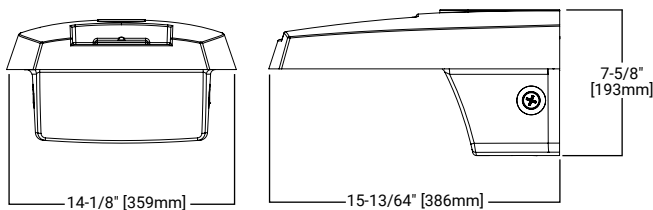
- Lumen packages range from 4,800 - 12,200 lumens (35W - 90W)
- Replaces 70W up to 250W HID equivalents
- Efficacies up to 146 lumens per watt
- Energy and maintenance savings up to 84% versus HID solutions
- Surface mount configuration with standard conduit entry

Connected Systems

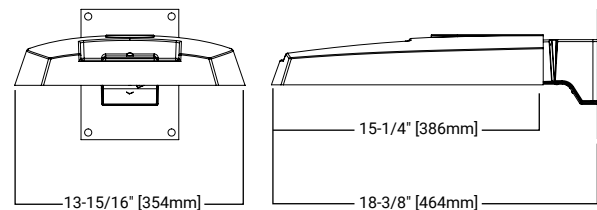
- WaveLinx

Dimensional Details

Surface Mount (SM)



Wall Mount (WM)



NOTES:

1. Visit <https://www.designlights.org/search/> to confirm qualification. Not all product variations are DLC qualified.
2. IDA Certified for 3000K CCT and warmer only.

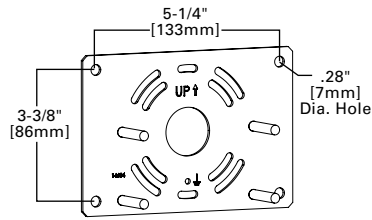
Ordering Information

SAMPLE NUMBER: PRV-P-C15-D-UNV-T4-SM-BZ

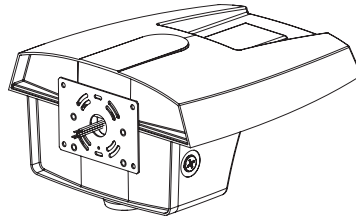
Product Family ^{1,2}	Light Engine ³	Driver	Voltage	Distribution	Mounting (Included)	Finish
PRV-P =Prevail Petite BAA-PRV-P =Prevail Petite BAA Compliant ²¹ TAA-PRV-P =Prevail Petite TAA Compliant ²¹	C10 =(1 LED) 4,900 Nominal Lumens C15 =(1 LED) 6,900 Nominal Lumens C20 =(1 LED) 9,800 Nominal Lumens C25 =(1 LED) 11,800 Nominal Lumens	D =Dimming (0-10V)	UNV =Universal (120-277V) 347 =347V 480 =480V ⁴ DV =Duravolt, 277-480V ^{4,22}	T2 =Type II T3 =Type III T4 =Type IV T5 =Type V	SM =Surface Wall Mount WM =Wall Mount Arm	BZ =Bronze AP =Grey BK =Black DP =Dark Platinum GM =Graphite Metallic WH =White
Options (Add as Suffix)				Accessories (Order Separately) ^{17,18}		
7030 =70 CRI / 3000K CCT ⁵ 7050 =70 CRI / 5000K CCT ⁵ 10K =10kV/10kA UL 1449 Fused Surge Protective Device 20MSP =20kV MOV Surge Protective Device 20K =20kV UL 1449 Fused Surge Protective Device EBP =Emergency Battery Pack (Ambient Temp, 0° to 40°C) ⁶ CBP =Cold Weather Emergency Battery Pack (Ambient Temp, -20° to 40°C) ⁶ CBP-CEC =Cold Weather Emergency Battery Pack, CEC Compliant (Ambient Temp, -20° to 40°C) ⁶ HSS =House Side Shield ⁷ HA =50°C High Ambient Temperature ⁸ CC =Coastal Construction ⁹ BPC =Button Photocontrol ¹⁰ PER =NEMA 3-PIN Twistlock Photocontrol Receptacle ¹⁰ PER7 =NEMA 7-PIN Twistlock Photocontrol Receptacle ¹⁰ MS/DIM-L08 =Dimming Motion and Daylight Sensor, IR Remote Programmable, < 8' Mounting ^{10,11} MS/DIM-L20 =Dimming Motion and Daylight Sensor, IR Remote Programmable, 8' - 20' Mounting ^{10,11} MS/DIM-L40 =Dimming Motion and Daylight Sensor, IR Remote Programmable, 21' - 40' Mounting ^{10,11} SPB1 =Dimming Motion and Daylight Sensor, Bluetooth Programmable, < 8' Mounting ^{10,12} SPB2 =Dimming Motion and Daylight Sensor, Bluetooth Programmable, 8' - 20' Mounting ^{10,12} SPB4 =Dimming Motion and Daylight Sensor, Bluetooth Programmable, 21' - 40' Mounting ^{10,12} ZW =WaveLinx-enabled 4-PIN Twistlock Receptacle ^{10,13,14} ZD =SR Driver-enabled 4-PIN Twistlock Receptacle ^{10,13,14} ZW-SWPD4XX =WaveLinx, Dimming Motion and Daylight, WAC Programmable, 7' - 15' Mounting ^{10,13,14,15} ZW-SWPD5XX =WaveLinx, Dimming Motion and Daylight, WAC Programmable, 15' - 40' Mounting ^{10,13,14,15} ZD-SWPD4XX =WaveLinx, SR Driver, Dimming Motion and Daylight, WAC Programmable, 7' - 15' Mounting ^{10,13,14,15} ZD-SWPD5XX =WaveLinx, SR Driver, Dimming Motion and Daylight, WAC Programmable, 15' - 40' Mounting ^{10,13,14,15}				HS/VERD =House Side Shield ⁷ VGS-F/B =Vertical Glare Shield, Front/Back VGS-SIDE =Vertical Glare Shield, Side OA/RA1013 =Photocontrol Shorting Cap OA/RA1014 =NEMA Photocontrol - 120V OA/RA1016 =NEMA Photocontrol - Multi-Tap 105-285V OA/RA1201 =NEMA Photocontrol - 347V OA/RA1027 =NEMA Photocontrol - 480V FSIR-100 =Wireless Configuration Tool for Occupancy Sensor ¹⁹ SWPD4-XX =WaveLinx Wireless Sensor, 7' - 15' Mounting Height ^{13,15,16} SWPD5-XX =WaveLinx Wireless Sensor, 15' - 40' Mounting Height ^{13,15,16} WOLC-7P-10A =WaveLinx Outdoor Control Module (7-PIN) ²⁰		
NOTES: 1. DesignLights Consortium® Qualified. Refer to www.designlights.org Qualified Products List under Family Models for details. 2. Customer is responsible for engineering analysis to confirm pole and fixture compatibility for all applications. Refer to installation instructions IB500002EN and pole white paper WP513001EN for additional support information. 3. Standard 4000K CCT and 70CRI. 4. 480V not to be used with ungrounded or impedance grounded systems. 5. Use dedicated IES files on product website for non-standard CCTs. 6. Only available on Surface Wall Mount (SM) mounting. Not available with C25 light engine. Not available with DV, 347, or 480 voltage options. 7. Option will come factory-installed. House Side Shield not suitable with T5 distribution. 8. Not available with EBP, CBP, or CBP-CEC options. Not available with C25 light engine. 9. Salt spray tested to over 5,000-hours per ASTM B117 with a scribe rating of 9 per ASTM D1654. Also achieves 7,000-hour rating per ASTM B117 with a scribe rating of 4 per ASTM D1654. Extended lead times may apply. 10. Option is not available with other controls: photocontrols (BPC), photocontrol receptacles (PER or PER7), or controls systems (MS, ZD, or ZW). 11. Utilizes the Wattstopper sensor FSP-211. Sensor color white unless specified otherwise via PDR. 12. Utilizes the Wattstopper sensor FSP-3XX series. Sensor color determined by product finish. See Sensor Color Reference Table. Field-configures via mobile application. See Controls section for details. 13. Sensor passive infrared (PIR) may be overly sensitive when operating below -20°C (-4°F). 14. For the device to be field-configurable, requires WAC Gateway components WAC-PoE and WPOE-120 in appropriate quantities. Only compatible with WaveLinx system and software and requires system components to be installed for operation. See website for more WaveLinx application information. 15. Replace XX with sensor color (WH, BZ, or BK). 16. Requires 4-PIN twistlock receptacle (ZD or ZW) option. 17. For BAA or TAA requirements, Accessories sold separately will be separately analyzed under domestic preference requirements. Consult factory for further information. 18. Replace XX with paint color. 19. This tool enables adjustment to Motion Sensor (MS) parameters including high and low modes, sensitivity, time delay, cutoff and more. Consult your lighting representative for more information. 20. Requires 7-PIN NEMA twistlock photocontrol receptacle (PER7) option. The WOLC-7 cannot be used in conjunction with other controls systems (MS, ZD, or ZW). Operates on 120-347V input voltages. 21. Only product configurations with these designated prefixes are built to be compliant with the Buy American Act of 1933 (BAA) or Trade Agreements Act of 1979 (TAA), respectively. Please refer to DOMESTIC.PREFERENCES website for more information. Components shipped separately may be separately analyzed under domestic preference requirements. 22. DuraVolt drivers feature added protection from power quality issues such as loss of neutral, transients and voltage fluctuations. Visit www.signify.com/duravolt for more information.						

Mounting Details

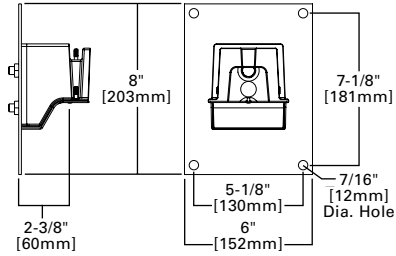
Surface Mount Plate (SM)



Surface Mount Assembly (SM)



Wall Mount (WM)



Product Specifications

Construction

- Single-piece die-cast aluminum housing
- Tethered die-cast aluminum door
- Surface Mount (SM) offers two 1/2" NPT conduit entry plugs
- Not suitable for inverted mount installation

Optics

- Dark Sky Approved (3000K CCT and warmer only)
- Precision molded polycarbonate optics

Electrical

- -40°C minimum operating temperature
- 40°C maximum operating temperature
- >.9 power factor
- <20% total harmonic distortion
- Class 1 electronic drivers have expected life of 100,000 hours with <1% failure rate
- 0-10V dimming driver is standard with leads external to the fixture
- Standard MOV surge protective device designed to withstand 10kV of transient line surge

Typical Applications

- Outdoor, Pedestrian Pathways, Building Entrances, Loading Docks, Perimeter Parking Lots

Finish

- Five-stage super TGIC polyester powder coat paint, 2.5 mil nominal thickness

Shipping Data

- Prevail Petite (with CBP): 21 lbs. (9.53 kgs.)

Warranty

- Five year limited warranty, consult website for details. www.cooperlighting.com/legal

Energy and Performance Data

Power and Lumens

Product Family		Prevail Petite			
Light Engine		C10	C15	C20	C25
Power (Watts)		35	49	73	94
Input Current @ 120V (A)		0.29	0.41	0.61	0.79
Input Current @ 277V (A)		0.13	0.18	0.27	0.35
Input Current @ 347V (A)		0.11	0.16	0.23	0.29
Input Current @ 480V (A)		0.08	0.12	0.17	0.22
Distribution					
Type II	4000K Lumens	4,775	6,717	9,542	11,521
	BUG Rating	B1-U0-G1	B1-U0-G1	B2-U0-G2	B2-U0-G2
	Lumens per Watt	138	137	131	122
	3000K Lumens ¹	4,689	6,595	9,369	11,312
Type III	4000K Lumens	4,782	6,727	9,556	11,538
	BUG Rating	B1-U0-G2	B1-U0-G2	B2-U0-G3	B2-U0-G3
	Lumens per Watt	138	137	131	123
	3000K Lumens ¹	4,695	6,605	9,383	11,329
Type IV	4000K Lumens	4,880	6,865	9,752	11,774
	BUG Rating	B1-U0-G2	B1-U0-G2	B2-U0-G3	B2-U0-G3
	Lumens per Watt	141	140	134	125
	3000K Lumens ¹	4,792	6,740	9,575	11,561
Type V	4000K Lumens	5,067	7,128	10,126	12,226
	BUG Rating	B3-U0-G2	B3-U0-G2	B4-U0-G3	B4-U0-G3
	Lumens per Watt	146	145	139	130
	3000K Lumens ¹	4,975	6,999	9,942	12,004

NOTES:
 1. For 3000K, 5000K or HSS data, refer to published IES files.

Power and Lumens: Emergency Configurations

Product Family		Prevail Petite		
Light Engine		C10	C15	C20
Power (Watts) ¹		41	55	79
Input Current @ 120V (A)		0.37	0.49	0.69
Input Current @ 277V (A)		0.16	0.22	0.31
Distribution ²				
Type II	4000K Lumens	1,910		
	3000K Lumens	1,876		
Type III	4000K Lumens	1,913		
	3000K Lumens	1,878		
Type IV	4000K Lumens	1,952		
	3000K Lumens	1,917		
Type V	4000K Lumens	2,027		
	3000K Lumens	1,990		

NOTES:
 1. Power and current based on full power consumption while EBP or CBP is charging.
 2. Estimated lumen outputs while luminaire is operating in emergency mode only at full charge.

Lumen Maintenance

Configuration	TM-21 Lumen Maintenance (50,000 Hours)	Theoretical L70 (Hours)
Prevail Petite at 25°C	91.30%	> 194,000
Prevail Petite at 40°C	87.59%	> 134,000

Sensor Color Reference Table (SPBx)

Housing Finish	Sensor Color
AP =Grey	Grey
BZ =Bronze	Bronze
BK =Black	Black
DP =Dark Platinum	Grey
GM =Graphite Metallic	Black
WH =White	White

Lumen Multiplier

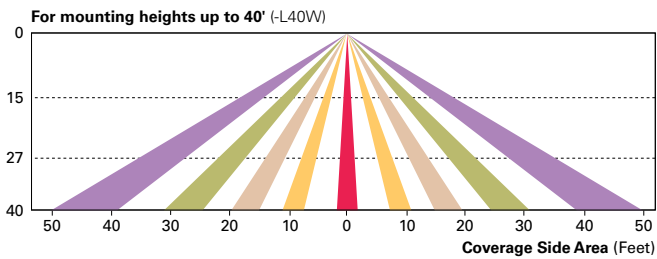
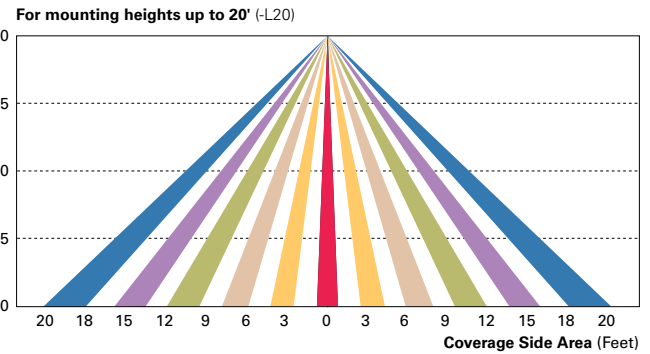
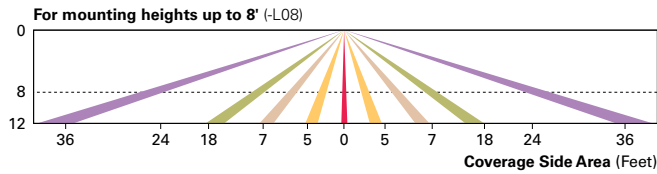
Ambient Temperature	Lumen Multiplier
10°C	1.02
15°C	1.01
25°C	1.00
40°C	0.99

Control Options

0-10V This fixture provides 0-10V dimming wire leads for use with a lighting control panel or other control method.

Photocontrol (PER and PER7) Photocontrol receptacles provide a flexible solution to enable “dusk-to-dawn” lighting by sensing light levels. Advanced control systems compatible with NEMA 7-PIN standards can be utilized with the PER7 receptacle.

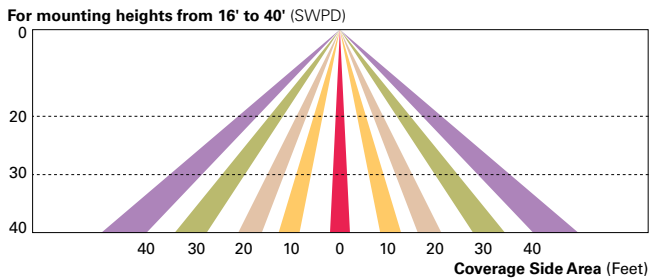
Dimming Occupancy Sensor (SPB, MS/DIM-LXX and MS-LXX) These sensors are factory installed in the luminaire housing. When the SPB or MS/DIM sensor options are selected, the luminaire will dim down after five minutes of no activity detected. When activity is detected, the luminaire returns to full light output. When a sensor for ON/OFF operation (MS-LXX) is selected, the luminaire will turn off after five minutes of no activity. These occupancy sensors include an integral photocell for “dusk-to-dawn” control or “daylight harvesting.” Factory default is enabled for the MS sensors and disabled for the SPB. SPB motion sensors require the Sensor Configuration mobile application by Wattstopper to change factory default dimming level, time delay, sensitivity and other parameters. Available for iOS and Android devices. The SPB sensor is factory preset to dim down to approximately 10% power with a time delay of five minutes.



WaveLinx Wireless Control and Monitoring System Available in 7-PIN or 4-PIN configurations, the WaveLinx Outdoor control platform operates on a wireless mesh network based on IEEE 802.15.4 standards enabling wireless control of outdoor lighting. At least one Wireless Area Controller (WAC) is required for full functionality and remote communication (including adjustment of any factory pre-sets).

WaveLinx Outdoor Control Module (WOLC-7P-10A) A photocontrol that enables astronomic or time-based schedules to provide ON, OFF and dimming control of fixtures utilizing a 7-PIN receptacle. The out-of-box functionality is ON at dusk and OFF at dawn.

WaveLinx Wireless Sensor (SWPD4 and SWPD5) These outdoor sensors offer passive infrared (PIR) occupancy sensing and a photocell for closed-loop daylight sensing. These sensors can be factory installed or field-installed via simple, tool-less integration into luminaires equipped with the Zhaga Book 18 compliant 4-PIN receptacle (ZD or ZW). These sensors are factory preset to dim down to approximately 50 percent power after 15 minutes of no activity detected, and the photocell for “dusk-to-dawn” control is default enabled. A variety of sensor lenses are available to optimize the coverage pattern for mounting heights from 7'-40'.



Project		Catalog #		Type	
Prepared by		Notes		Date	



Lumark

Prevail LED

Area / Site Luminaire

Product Features



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- Ordering Information [page 2](#)
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- Optical Configurations [page 4](#)
- Product Specifications [page 4](#)
- Energy and Performance Data [page 5](#)
- Control Options [page 6](#)

Product Certifications



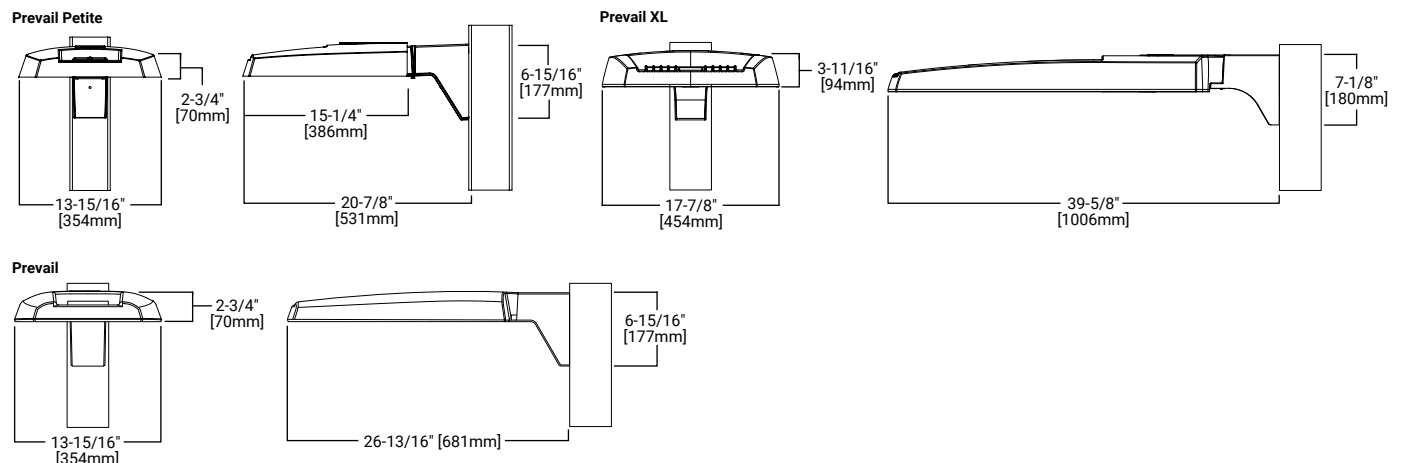
Quick Facts

- Lumen packages range from 4,800 - 52,300 lumens (35W - 350W)
- Replaces 70W up to 1,000W HID equivalents
- Efficacies up to 160 lumens per watt
- Energy and maintenance savings up to 85% versus HID solutions
- Standard universal quick mount arm with universal drill pattern

Connected Systems

- WaveLinx

Dimensional Details




NOTES:
 1. Visit <https://www.designlights.org/search/> to confirm qualification. Not all product variations are DLC qualified.
 2. IDA Certified for 3000K CCT and warmer only.

Ordering Information

SAMPLE NUMBER: PRV-XL-C75-D-UNV-T4-SA-BZ

Product Family ^{1,2}	Light Engine ⁴	Driver	Voltage	Distribution	Mounting	Color
PRV-P =Prevail Petite BAA-PRV-P =Prevail Petite BAA Compliant ³ TAA-PRV-P =Prevail Petite TAA Compliant ³	C10 =(1 LED) 4,900 Nominal Lumens C15 =(1 LED) 6,900 Nominal Lumens C20 =(1 LED) 9,800 Nominal Lumens C25 =(1 LED) 11,800 Nominal Lumens	D =Dimming (0-10V)	UNV =Universal (120-277V) 347 =347V 480 =480V ⁵ DV =DuraVolt (277-480V) ^{5,6}	T2 =Type II T3 =Type III T4 =Type IV T5 =Type V	SA =Standard Versatile Arm MA =Mast Arm WM =Wall Mount Arm ADJA =Adjustable Arm - Pole Mount ADJS =Adjustable Arm - Slipfitter, 3in vertical tenon ADJA-WM =Adjustable Arm - Wall Mount	BZ =Bronze AP =Grey BK =Black DP =Dark Platinum GM =Graphite Metallic WH =White
PRV =Prevail BAA-PRV =Prevail BAA Compliant ³ TAA-PRV =Prevail TAA Compliant ³	C15 =(1 LED) 7,100 Nominal Lumens C25 =(2 LEDs) 13,100 Nominal Lumens C40 =(2 LEDs) 17,100 Nominal Lumens C60 =(2 LEDs) 20,000 Nominal Lumens					
PRV-XL =Prevail XL BAA-PRV-XL =Prevail XL BAA Compliant ³ TAA-PRV-XL =Prevail XL TAA Compliant ³	C75 =(4 LED) 26,100 Nominal Lumens C100 =(4 LED) 31,000 Nominal Lumens C125 =(4 LED) 36,000 Nominal Lumens C150 =(6 LED) 41,100 Nominal Lumens C175 =(6 LED) 48,600 Nominal Lumens					
Options (Add as Suffix)			Accessories (Order Separately) ^{20,21}			
7030 =70 CRI / 3000K CCT ⁷ 7050 =70 CRI / 5000K CCT ⁷ HSS =House Side Shield ⁸ L90 =Optics Rotated 90° Left R90 =Optics Rotated 90° Right 10K =10kV UL 1449 Fused Surge Protective Device 20MSP =20kV MOV Surge Protective Device 20K =Series 20kV UL 1449 Surge Protective Device HA =50°C High Ambient Temperature ⁹ CC =Coastal Construction ¹⁰ PER =NEMA 3-PIN Twistlock Photocontrol Receptacle ¹¹ PER7 =NEMA 7-PIN Twistlock Photocontrol Receptacle ¹¹ MS/DIM-L08 =Dimming Motion and Daylight Sensor, IR Remote Programmable, < 8' Mounting ^{12,13} MS/DIM-L20 =Dimming Motion and Daylight Sensor, IR Remote Programmable, 8' - 20' Mounting ^{12,13} MS/DIM-L40 =Dimming Motion and Daylight Sensor, IR Remote Programmable, 21' - 40' Mounting ^{12,13}			SPB1 =Dimming Motion and Daylight Sensor, Bluetooth Programmable, < 8' Mounting ^{12,14} SPB2 =Dimming Motion and Daylight Sensor, Bluetooth Programmable, 8' - 20' Mounting ^{12,14} SPB4 =Dimming Motion and Daylight Sensor, Bluetooth Programmable, 21' - 40' Mounting ^{12,14} ZW =Wavelinx-enabled 4-PIN Twistlock Receptacle ¹² ZD =SR Driver-enabled 4-PIN Twistlock Receptacle ¹² ZW-SWPD4XX =WaveLinX, Dimming Motion and Daylight, WAC Programmable, 7' - 15' Mounting ^{12,15,16,17} ZW-SWPD5XX =WaveLinX, Dimming Motion and Daylight, WAC Programmable, 15' - 40' Mounting ^{12,15,16,17} ZD-SWPD4XX =WaveLinX, SR Driver, Dimming Motion and Daylight, WAC Programmable, 7' - 15' Mounting ^{12,15,16,17} ZD-SWPD5XX =WaveLinX, SR Driver, Dimming Motion and Daylight, WAC Programmable, 15' - 40' Mounting ^{12,15,16,17} (See Table Below) =LumenSafe Integrated Network Security Camera ^{14,19}			
NOTES: 1. DesignLights Consortium® Qualified. Refer to www.designlights.org Qualified Products List under Family Models for details. 2. Customer is responsible for engineering analysis to confirm pole and fixture compatibility for all applications. Refer to installation instructions IB500002EN and pole white paper WP513001EN for additional support information. 3. Only product configurations with these designated prefixes are built to be compliant with the Buy American Act of 1933 (BAA) or Trade Agreements Act of 1979 (TAA), respectively. Please refer to DOMESTIC PREFERENCES website for more information. Components shipped separately may be separately analyzed under domestic preference requirements. 4. Standard 4000K CCT and 70CRI. 5. 480V not to be used with ungrounded or impedance grounded systems. 6. DuraVolt drivers feature added protection from power quality issues such as loss of neutral, transients and voltage fluctuations. Visit www.signify.com/duravolt for more information. 7. Use dedicated IES files on product website for non-standard CCTs. 8. House Side Shield not suitable with T5 distribution. Not available with PRV-C60 lumen package. 9. Not available with PRV-C60 lumen package. Not available with PRV-P-C25 lumen package. 10. Salt spray tested to over 5,000-hours per ASTM B117 with a scribe rating of 9 per ASTM D1654. Also achieves 7,000-hour rating per ASTM B117 with a scribe rating of 4 per ASTM D1654. Extended lead times may apply. 11. If DuraVolt (DV) is specified, use a photocontrol that matches the input voltage used. 12. Controls system is not available in combination with a photocontrol receptacle (PER or PER7) or another controls system (MS, SPB, ZD, or ZW). Option not available with DuraVolt (DV) voltage option. 13. Utilizes the Wattstopper sensor FSP-211. Sensor color white unless specified otherwise via PDR. To field-configure, order FSIR-100 accessory separately. 14. Utilizes the Wattstopper sensor FSP-3XX series. Sensor color determined by product finish. See Sensor Color Reference Table. Field-configures via mobile application. See Controls section for details.			PRVSA-XX =Standard Arm Mounting Kit ²² PRVMA-XX =Mast Arm Mounting Kit ²² PRVWM-XX =Wall Mount Kit ²² PRV-ADJA-XX =Adjustable Arm - Pole Mount Kit ²² PRV-ADJS-XX =Adjustable Arm - Slipfitter Kit ²² PRV-ADJA-WM-XX =Adjustable Arm - Wall Mount Kit ²² PRVXLSA-XX =Standard Arm Mounting Kit ¹⁸ PRVXLMA-XX =Mast Arm Mounting Kit ¹⁸ PRVXLWM-XX =Wall Mount Kit ¹⁸ PRV-XL-ADJA-XX =Adjustable Arm - Pole Mount Kit ¹⁸ PRV-XL-ADJS-XX =Adjustable Arm - Slipfitter Kit ¹⁸ PRV-XL-ADJA-WM-XX =Adjustable Arm - Wall Mount Kit ¹⁸ MA1010-XX =Single Tenon Adapter for 3-1/2" O.D. Tenon MA1011-XX =2@180° Tenon Adapter for 3-1/2" O.D. Tenon MA1017-XX =Single Tenon Adapter for 2-3/8" O.D. Tenon MA1018-XX =2@180° Tenon Adapter for 2-3/8" O.D. Tenon SRA238 =Tenon Adapter from 2-3/8" to 3" PRV/COB-FDV =Full Drop Visor ²³ PRVXL/COB-FDV =Full Drop Visor ¹⁸ HS/VERD =House Side Shield ^{8,24} VGS-F/B =Vertical Glare Shield, Front/Back ²⁴ VGS-SIDE =Vertical Glare Shield, Side ²⁴ OA/RA1013 =Photocontrol Shorting Cap OA/RA1014 =NEMA Photocontrol - 120V OA/RA1016 =NEMA Photocontrol - Multi-Tap 105-285V OA/RA1201 =NEMA Photocontrol - 347V OA/RA1027 =NEMA Photocontrol - 480V FSIR-100 =Wireless Configuration Tool for Occupancy Sensor ²⁵ SWPD4-XX =WaveLinX Sensor, Dimming Motion and Daylight, WAC Programmable, 7' - 15' Mounting ^{15,16,17,26} SWPD5-XX =WaveLinX Sensor, Dimming Motion and Daylight, WAC Programmable, 15' - 40' Mounting ^{15,16,17,26} WOLC-7P-10A =WaveLinX Outdoor Control Module (7-PIN) ²⁷			

LumenSafe Integrated Network Security Camera Technology Options (Add as Suffix)

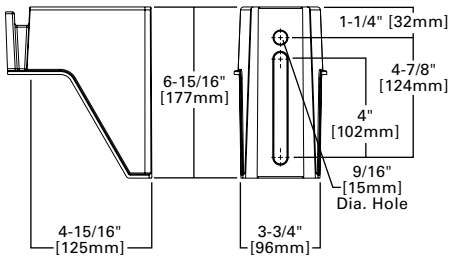
Product Family	Camera Type	Data Backhaul		
L =LumenSafe Technology 	H =Dome Camera, High Res Z =Dome Camera, Remote PTZ	C =Cellular, Customer Installed SIM Card A =Cellular, Factory Installed AT&T SIM Card	V =Cellular, Factory Installed Verizon SIM Card S =Cellular, Factory Installed Sprint SIM Card	E =Ethernet Networking

Stock Ordering Information

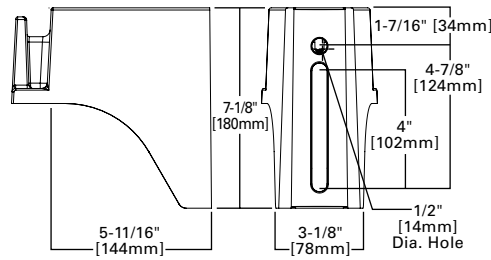
Product Family ¹	Light Engine	Voltage	Distribution
PRVS =Prevail	C15 =(1 LED) 7,100 Nominal Lumens C25 =(2 LEDs) 13,100 Nominal Lumens C40 =(2 LEDs) 17,100 Nominal Lumens C60 =(2 LEDs) 20,000 Nominal Lumens	UNV =Universal (120-277V) 347 =347V ²	T3 =Type III T4 =Type IV
PRVS-XL =Prevail XL	C75 =(4 LED) 26,100 Nominal Lumens C100 =(4 LED) 31,000 Nominal Lumens C125 =(4 LED) 36,000 Nominal Lumens C150 =(6 LED) 41,100 Nominal Lumens C175 =(6 LED) 48,600 Nominal Lumens		
NOTES: 1. All stock configurations are standard 4000K/70CRI, bronze finish, and include the standard versatile mounting arm. 2. Only available in PRVS configurations C15, C25, C40 or C60.			

Mounting Details

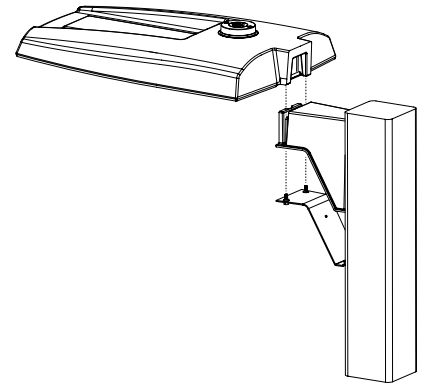
Pole Mount Arm (PRV & PRV-P)



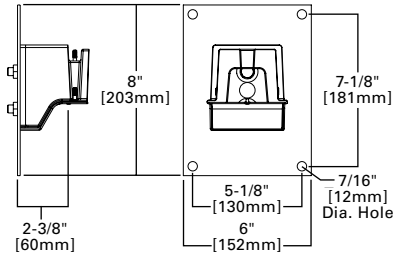
Pole Mount Arm (PRV-XL)



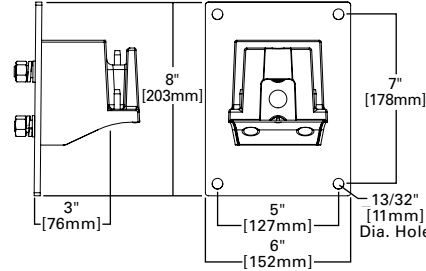
Versatile Mount System



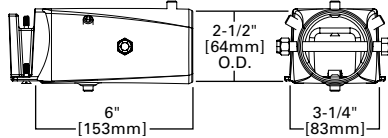
Wall Mount (PRV & PRV-P)



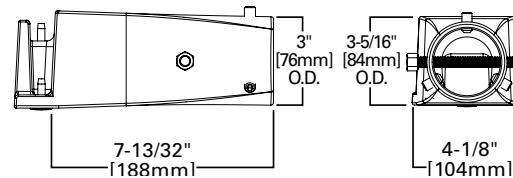
Wall Mount (PRV-XL)



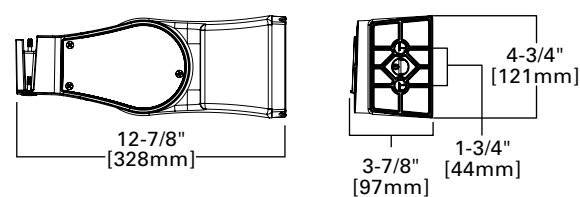
Mast Arm Mount (PRV & PRV-P)



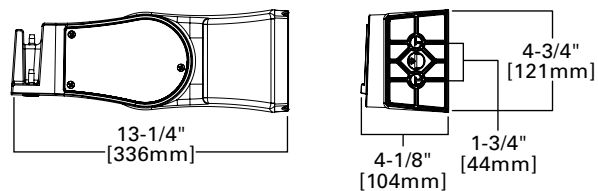
Mast Arm Mount (PRV-XL)



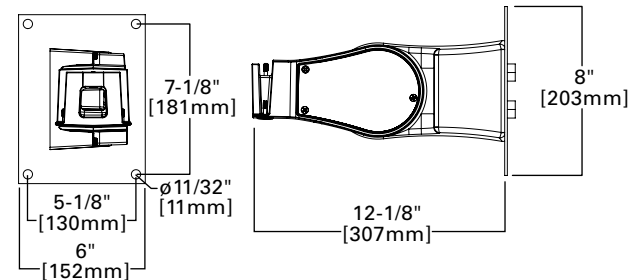
Adjustable Pole Mount Arm (PRV & PRV-P)



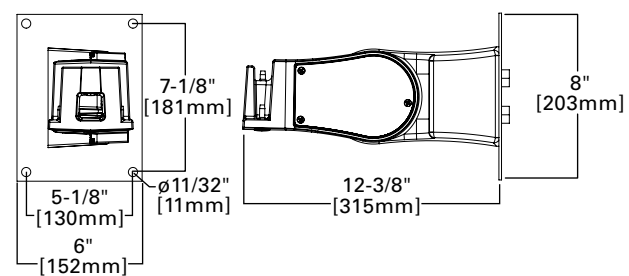
Adjustable Pole Mount Arm (PRV-XL)



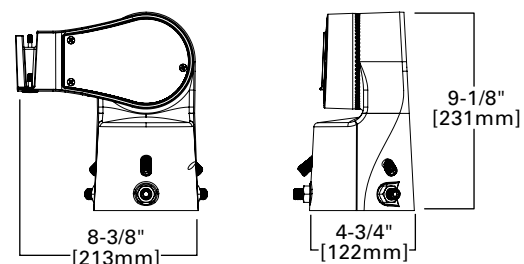
Adjustable Wall Mount (PRV & PRV-P)



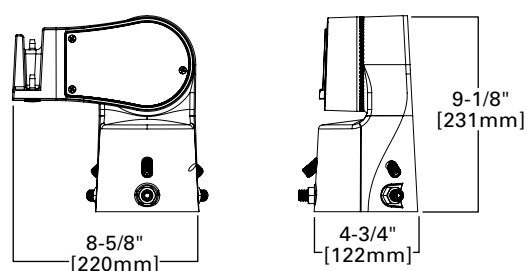
Adjustable Wall Mount (PRV-XL)



Adjustable Slipfitter (PRV & PRV-P)



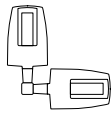
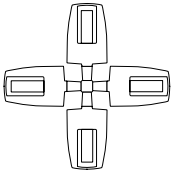
Adjustable Slipfitter (PRV-XL)



Mounting Details

Mounting Configurations and EPAs

NOTE: For 2 PRV's mounted at 90°, requires minimum 3" square or 4" round pole for fixture clearance. For 2 PRV-XL's mounted at 90°, requires minimum 4" square or round pole for fixture clearance. Customer is responsible for engineering analysis to confirm pole and fixture compatibility for applications.

						
Housing Size	Tilt Angle (Degrees)	Arm Mount Single	Arm Mount 2 @ 180°	Arm Mount 2 @ 90°	Arm Mount 3 @ 90°	Arm Mount 4 @ 90°
Prevail Petite	0°	0.54	1.08	0.84	1.38	1.38
	60°	1.68	1.85	2.42	3.15	3.30
Prevail	0°	0.92	1.35	1.42	1.63	1.63
	60°	2.20	2.40	3.05	3.88	4.07
	60° + Full Drop Visor	2.20	2.40	3.25	4.28	4.47
Prevail XL	0°	1.12	2.25	2.13	2.52	2.52
	60°	3.99	4.30	5.26	6.51	6.79
	60° + Full Drop Visor	3.99	4.30	5.59	7.17	7.49

Optical Configurations

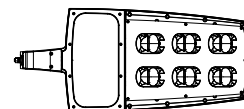
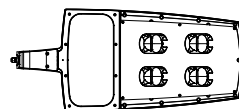
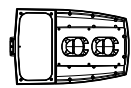
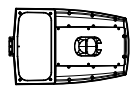
PRV-P-C10/C15/C20/C25
(4,900/6,900/9,800/11,800 Nominal Lumens)

PRV-C15
(7,100 Nominal Lumens)

PRV-C25/C40/C60
(13,100/17,100/20,000 Nominal Lumens)

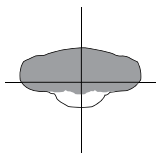
PRV-XL-C75/C100/C125
(26,100/31,000/36,300 Nominal Lumens)

PRV-XL-C150/C175
(41,100/48,600 Nominal Lumens)

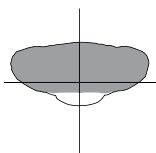


Optical Distributions

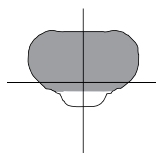
T2
(Type II)



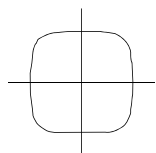
T3
(Type III)





T4
(Type IV)



T5
(Type V)



 = Distribution with House Side Shield (HSS)
 = Optical Distribution

Product Specifications

Construction

- Single-piece die-cast aluminum housing
- Tethered die-cast aluminum door

Optics

- Dark Sky Approved (3000K CCT and warmer only)
- Precision molded polycarbonate optics

Electrical

- -40°C minimum operating temperature
- 40°C maximum operating temperature
- >.9 power factor
- <20% total harmonic distortion
- Class 1 electronic drivers have expected life of 100,000 hours with <1% failure rate
- 0-10V dimming driver is standard with leads external to the fixture
- Standard MOV surge protective device designed to withstand 10kV of transient line surge

Mounting

- Versatile, patented, standard mount arm accommodates multiple drill patterns ranging from 1-1/2" to 4-7/8" (Type M drilling recommended for new installations)
- A knock-out on the standard mounting arm enables round pole mounting
- Adjustable pole and wall mount arms adjust in 5° increments from 0° to 60°; Downward facing orientation only (Type N drilling required for ADJA mount)
- Adjustable slipfitter arm adjusts in 5° increments from -5° to 85°; Downward facing orientation only
- Adjustable Arms: 1.5G vibration rated
- Prevail and Prevail Petite: 3G vibration rated
- Prevail XL Mast Arm: 3G vibration rated
- Prevail XL Standard Arm: 1.5G vibration rated

Typical Applications

- Parking lots, Walkways, Roadways and Building Areas

Finish

- Five-stage super TGIC polyester powder coat paint, 2.5 mil nominal thickness
- Finish is compliant to 3,000 hour salt spray standard (per ASTM B117)

Shipping Data

- Prevail Petite: 18 lbs. (7.94 kgs.)
- Prevail: 20 lbs. (9.09 kgs.)
- Prevail XL: 45 lbs. (20.41 kgs.)

Warranty

- Five year limited warranty, consult website for details. www.cooperlighting.com/legal

Energy and Performance Data

[View PRV-P IES files](#)
[View PRV IES files](#)
[View PRV-XL IES files](#)

Power and Lumens

Product Family	Prevail Petite				Prevail				Prevail XL					
Light Engine	C10	C15	C20	C25	C15	C25	C40	C60	C75	C100	C125	C150	C175	
Power (Watts)	35	49	73	94	52	96	131	153	176	217	264	285	346	
Input Current @ 120V (A)	0.29	0.41	0.61	0.79	0.43	0.80	1.09	1.32	1.50	1.84	2.21	2.38	2.92	
Input Current @ 277V (A)	0.13	0.18	0.27	0.35	0.19	0.35	0.48	0.57	0.66	0.82	0.97	1.04	1.25	
Input Current @ 347V (A)	0.11	0.16	0.23	0.29	0.17	0.30	0.41	0.48	0.54	0.66	0.79	0.84	1.02	
Input Current @ 480V (A)	0.08	0.12	0.17	0.22	0.12	0.22	0.30	0.35	0.40	0.48	0.57	0.62	0.74	
Distribution ¹														
Type II	4000K Lumens	4,775	6,717	9,542	11,521	7,123	13,205	17,172	20,083	26,263	31,231	36,503	41,349	48,876
	BUG Rating	B1-U0-G1	B1-U0-G1	B2-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G4	B4-U0-G4	B4-U0-G4	B4-U0-G5
	Lumens per Watt	138	137	131	122	137	138	131	131	149	144	138	145	141
	3000K Lumens ¹	4,869	6,595	9,369	11,312	6,994	12,965	16,860	19,718	25,786	30,664	35,840	40,598	47,989
Type III	4000K Lumens	4,782	6,727	9,556	11,538	7,111	13,183	17,144	20,050	26,120	31,061	36,304	41,124	48,610
	BUG Rating	B1-U0-G2	B1-U0-G2	B2-U0-G3	B2-U0-G3	B1-U0-G2	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5
	Lumens per Watt	138	137	131	123	137	137	131	131	148	143	138	144	140
	3000K Lumens ¹	4,695	6,605	9,383	11,329	6,982	12,944	16,832	19,686	25,646	30,497	35,645	40,377	47,727
Type IV	4000K Lumens	4,880	6,865	9,752	11,774	7,088	13,140	17,087	19,984	26,098	31,035	36,274	41,089	48,569
	BUG Rating	B1-U0-G2	B1-U0-G2	B2-U0-G3	B2-U0-G3	B1-U0-G3	B2-U0-G4	B2-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B4-U0-G5
	Lumens per Watt	141	140	134	125	136	137	130	131	148	143	137	144	140
	3000K Lumens ¹	4,792	6,740	9,575	11,561	6,959	12,901	16,777	19,621	25,624	30,471	35,615	40,343	47,687
Type V	4000K Lumens	5,067	7,128	10,126	12,226	7,576	14,045	18,264	21,360	28,129	33,450	39,097	44,287	52,349
	BUG Rating	B3-U0-G2	B3-U0-G2	B4-U0-G3	B4-U0-G3	B3-U0-G3	B4-U0-G3	B4-U0-G4	B5-U0-G4	B5-U0-G5	B5-U0-G5	B5-U0-G5	B5-U0-G5	B5-U0-G5
	Lumens per Watt	146	145	139	130	146	146	139	140	160	154	148	155	151
	3000K Lumens ¹	4,975	6,999	9,942	12,004	7,438	13,790	17,932	20,972	27,618	32,843	38,387	43,483	51,398

NOTES:
1. For 3000K, 5000K or HSS data, refer to published IES files.

Lumen Maintenance

Configuration	TM-21 Lumen Maintenance (50,000 Hours)	Theoretical L70 (Hours)
Prevail and Prevail Petite at 25°C	91.30%	> 194,000
Prevail and Prevail Petite at 40°C	87.59%	> 134,000
Prevail XL at 25°C	91.40%	> 204,000
Prevail XL at 40°C	89.41%	> 158,000

Sensor Color Reference Table (SPBx)

Housing Finish	Sensor Color
AP =Grey	Grey
BZ =Bronze	Bronze
BK =Black	Black
DP =Dark Platinum	Grey
GM =Graphite Metallic	Black
WH =White	White

Lumen Multiplier

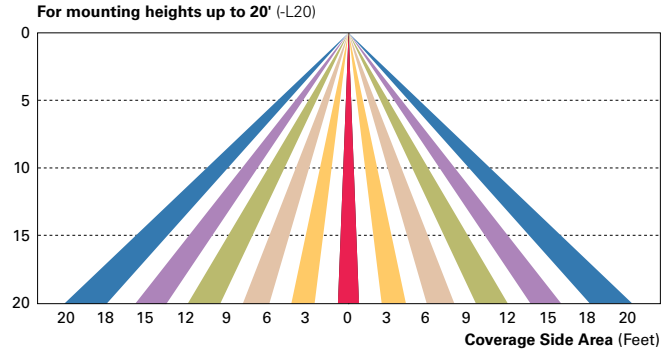
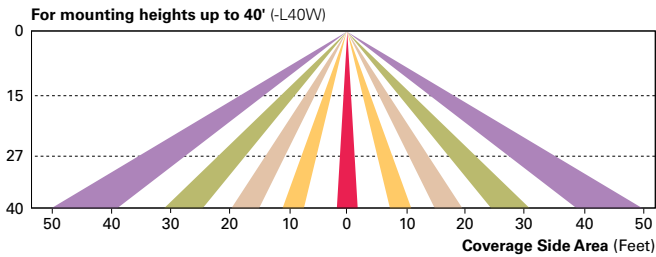
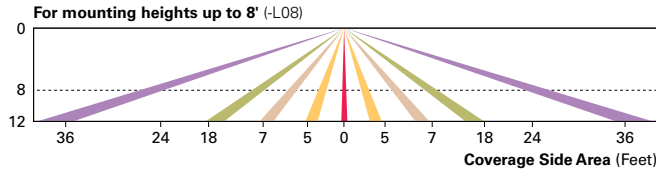
Ambient Temperature	Lumen Multiplier
10°C	1.02
15°C	1.01
25°C	1.00
40°C	0.99

Control Options

0-10V This fixture provides 0-10V dimming wire leads for use with a lighting control panel or other control method.

Photocontrol (PER and PER7) Photocontrol receptacles provide a flexible solution to enable “dusk-to-dawn” lighting by sensing light levels. Advanced control systems compatible with NEMA 7-PIN standards can be utilized with the PER7 receptacle.

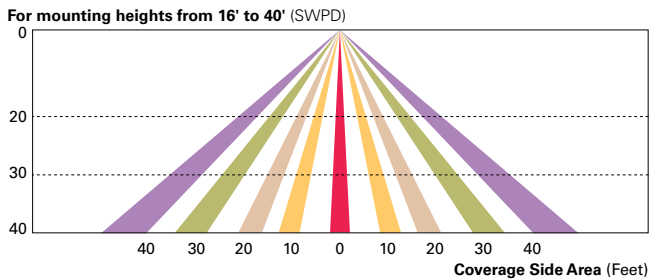
Dimming Occupancy Sensor (SPB, MS/DIM-LXX and MS-LXX) These sensors are factory installed in the luminaire housing. When the SPB or MS/DIM sensor options are selected, the luminaire will dim down after five minutes of no activity detected. When activity is detected, the luminaire returns to full light output. When a sensor for ON/OFF operation (MS-LXX) is selected, the luminaire will turn off after five minutes of no activity. These occupancy sensors include an integral photocell for “dusk-to-dawn” control or “daylight harvesting.” Factory default is enabled for the MS sensors and disabled for the SPB. SPB motion sensors require the Sensor Configuration mobile application by Wattstopper to change factory default dimming level, time delay, sensitivity and other parameters. Available for iOS and Android devices. The SPB sensor is factory preset to dim down to approximately 10% power with a time delay of five minutes.



WaveLinX Wireless Control and Monitoring System Available in 7-PIN or 4-PIN configurations, the WaveLinX Outdoor control platform operates on a wireless mesh network based on IEEE 802.15.4 standards enabling wireless control of outdoor lighting. At least one Wireless Area Controller (WAC) is required for full functionality and remote communication (including adjustment of any factory pre-sets).

WaveLinX Outdoor Control Module (WOLC-7P-10A) A photocontrol that enables astronomic or time-based schedules to provide ON, OFF and dimming control of fixtures utilizing a 7-PIN receptacle. The out-of-box functionality is ON at dusk and OFF at dawn.

WaveLinX Wireless Sensor (SWPD4 and SWPD5) These outdoor sensors offer passive infrared (PIR) occupancy sensing and a photocell for closed-loop daylight sensing. These sensors can be factory installed or field-installed via simple, tool-less integration into luminaires equipped with the Zhaga Book 18 compliant 4-PIN receptacle (ZD or ZW). These sensors are factory preset to dim down to approximately 50 percent power after 15 minutes of no activity detected, and the photocell for “dusk-to-dawn” control is default enabled. A variety of sensor lenses are available to optimize the coverage pattern for mounting heights from 7'-40'.



LumenSafe (LD) The LumenSafe integrated network camera is a streamlined, outdoor-ready camera that provides high definition video surveillance. This IP camera solution is optimally designed to integrate into virtually any video management system or security software platform of choice. No additional wiring is needed beyond providing line power to the luminaire. LumenSafe features factory-installed power and networking gear in a variety of networking options allowing security integrators to design the optimal solution for active surveillance.

Steel Poles



RTS ROUND TAPERED STEEL

Catalog #		Type
Project		
Comments		Date
Prepared by		

FEATURES

- ASTM Grade steel base plate with ASTM A366 base cover
- Hand hole assembly 3" x 5" on RTS poles
- 20'-50' mounting heights
- Drilled or tenon (specify)

DESIGN CONSIDERATIONS - VIBRATIONS AND NON-GROUND MOUNTED INSTALLATIONS

The information contained herein is for general guidance only and is not a replacement for professional judgment. Design considerations for wind-induced vibrations and non-ground mounted installations (e.g., installations on bridges or buildings) are not included in this document. Consult with a professional, and local and federal standards, before ordering to ensure product is appropriate for the intended purpose and installation location. Refer to the Cooper Lighting Solutions Light Pole White Paper for risk factors and design considerations. [Learn more.](#)

NOTE: The Limited Warranty for this product specifically excludes fatigue failure or similar damage resulting from vibration, harmonic oscillation or resonance.

Specifications and dimensions subject to change without notice. Consult your lighting representative at Cooper Lighting Solutions or visit www.cooperlighting.com for available options, accessories and ordering information.

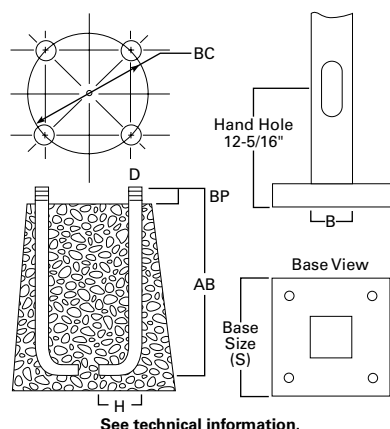
ORDERING INFORMATION

SAMPLE NUMBER: RTS8A30SF2XXG

Product Family	Shaft Size (Inches) ¹	Wall Thickness (Inches)	Mounting Height (Feet)	Base Type	Finish	Mounting Type	Number and Location of Arms	Arm Lengths (Feet)	Options (Add as Suffix)
RTS=Round Tapered Steel	6=6" 7=7" 8=8" 9=9" 0=10"	A=0.120" D=0.180"	20=20' 25=25' 30=30' 35=35' 39=39' 45=45' 50=50'	S=Square Steel Base	F=Dark Bronze G=Galvanized Steel J=Summit White K=Carbon Bronze L=Dark Platinum R=Hartford Green S=Silver T=Graphite Metallic V=Grey W=White X=Custom Color Y=Black	2=2-3/8" O.D. Tenon (4" Long) 3=3-1/2" O.D. Tenon (5" Long) 4=4" O.D. Tenon (6" Long) 9=3" O.D. Tenon (4" Long) 6=2-3/8" O.D. Tenon (6" Long) 7=4" O.D. Tenon (10" Long) A=Type A Drilling C=Type C Drilling E=Type E Drilling F=Type F Drilling G=Type G Drilling J=Type J Drilling K=Type K Drilling M=Type M Drilling N=Type N Drilling R=Type R Drilling S=Standard Upsweep Arm ⁶ Z=Type Z Drilling	1=Single 2=2 at 180° 3=Triple ² 4=4 at 90° 5=2 at 90° 6=3 at 90° 7=2 at 120° X=None	X=None 2=2' 3=2.5' 4=4' 6=6' 8=8'	A=1/2" Tapped Hub ³ B=3/4" Tapped Hub ³ C=Convenience Outlet ⁴ E=GFCI Convenience Outlet ⁴ G=Ground Lug H=Additional Hand Hole ⁵ V=Vibration Dampener

NOTES: 1. All shaft sizes nominal. 2. Square poles are 3 at 90°, round poles are 3 at 120°. 3. Tapped Hub is located 5' below the pole top and on the same side of pole as hand hole, unless specified otherwise. 4. Outlet is located 4' above base and on same side of pole as hand hole, unless specified otherwise. Receptacle not included, provision only. 5. Additional hand hole is located 12" below pole top and 90° from standard hand hole location, unless otherwise specified. 6. Arm must be ordered separately.

ANCHORAGE DATA



Pole	Template Number	Bolt Number	Bolt Circle (inches)	Number of Bolts	Bolt Size (inches)
RTS6A20	TMP4	AB1	11.0	4	3/4 x 25 x 3
RTS7A25	TMP4	AB1	11.0	4	3/4 x 25 x 3
RTS8A30	TMP5	AB3	12.5	4	1 x 36 x 4
RTS8A35	TMP5	AB3	12.5	4	1 x 36 x 4
RTS9D35	TMP5	AB3	12.5	4	1 x 36 x 4
RTS9A39	TMP5	AB3	12.5	4	1 x 36 x 4
RTS9D39	TMP5	AB3	12.5	4	1 x 36 x 4
RTS0A45	TMP6	AB3	13.5	4	1 x 36 x 4
RTS0D45	TMP7	AB5	13.5	4	1-1/4 x 42 x 6
RTS0A50	TMP6	AB3	13.5	4	1 x 36 x 4
RTS0D50	TMP7	AB5	13.5	4	1-1/4 x 42 x 6

Effective Projected Area (At Pole Top)

Mounting Height (Feet)	Catalog Number ^{1,2}	Wall Thickness (Inches)	Base Square ³ (Inches)	Bolt Circle Diameter (Inches)	Anchor Bolt Projection ³ (Inches)	Shaft Taper ³ (Inches)	Anchor Bolt Diameter x Length x Hook (Inches)	Net Weight (Pounds)	Maximum Effective Projected Area (Square Feet) ⁴				Max. Fixture Load - Includes Bracket (Pounds)
									80 mph	90 mph	100 mph	110 mph	
MH			S	BC	BP	B	D x AB x H						
20	RTS6A20S	0.120	10-1/2	11	4-1/2	6.3 x 3.5	3/4 x 25 x 3	145	19.6	15.0	11.6	9.5	100
25	RTS7A25S	0.120	10-1/2	11	4-1/2	7.0 x 3.5	3/4 x 25 x 3	187	14.7	11.0	8.6	6.8	200
30	RTS8A30S	0.120	12-1/2	12-1/2	5	7.7 x 3.5	1 x 36 x 4	254	18.0	13.5	10.5	8.4	300
35	RTS8A35S	0.120	12-1/2	12-1/2	5	8.4 x 3.5	1 x 36 x 4	305	16.1	11.9	9.1	7.2	300
35	RTS9D35S	0.180	12-1/2	12-1/2	5	8.4 x 3.5	1 x 36 x 4	452	20.5	15.4	12.0	9.6	300
39	RTS9A39S	0.120	12-1/2	12-1/2	5	8.9 x 3.5	1 x 36 x 4	347	14.5	10.7	8.1	6.2	300
39	RTS9D39S	0.180	12-1/2	12-1/2	5	8.9 x 3.5	1 x 36 x 4	516	16.9	12.5	9.6	7.5	300
45	RTS0A45S ⁵	0.120	13-1/2	13-1/2	5	10.2 x 4.2	1 x 36 x 4	466	14.5	10.1	7.7	5.8	300
45	RTS0D45S ⁵	0.180	13-1/2	13-1/2	6	10.2 x 4.2	1-1/4 x 42 x 6	670	27.0	20.5	16.1	13.0	300
50	RTS0A50S ⁵	0.120	13-1/2	13-1/2	5	10.2 x 3.5	1 x 36 x 4	490	7.4	4.9	3.3	2.2	400
50	RTS0D50S ⁵	0.180	13-1/2	13-1/2	6	10.2 x 3.5	1-1/4 x 42 x 6	704	19.8	14.7	11.2	8.6	400

Effective Projected Area (Two Feet Above Pole Top)

Mounting Height (Feet)	Catalog Number ^{1,2}	Wall Thickness (Inches)	Base Square ³ (Inches)	Bolt Circle Diameter (Inches)	Anchor Bolt Projection ³ (Inches)	Shaft Taper ³ (Inches)	Anchor Bolt Diameter x Length x Hook (Inches)	Net Weight (Pounds)	Maximum Effective Projected Area (Square Feet) ⁴				Max. Fixture Load - Includes Bracket (Pounds)
									80 mph	90 mph	100 mph	110 mph	
MH			S	BC	BP	B	D x AB x H						
20	RTS6A20S	0.120	10-1/2	11	4-1/2	6.3 x 3.5	3/4 x 25 x 3	145	17.4	13.4	10.4	8.4	100
25	RTS7A25S	0.120	10-1/2	11	4-1/2	7.0 x 3.5	3/4 x 25 x 3	187	13.7	10.0	7.8	6.2	200
30	RTS8A30S	0.120	12-1/2	12-1/2	5	7.7 x 3.5	1 x 36 x 4	254	16.7	12.6	9.7	7.7	300
35	RTS8A35S	0.120	12-1/2	12-1/2	5	8.4 x 3.5	1 x 36 x 4	305	15.1	11.2	8.6	6.7	300
35	RTS9D35S	0.180	12-1/2	12-1/2	5	8.4 x 3.5	1 x 36 x 4	452	19.5	14.6	11.3	9.0	300
39	RTS9A39S	0.120	12-1/2	12-1/2	5	8.9 x 3.5	1 x 36 x 4	347	13.8	10.1	7.6	5.9	300
39	RTS9D39S	0.180	12-1/2	12-1/2	5	8.9 x 3.5	1 x 36 x 4	516	16.1	11.9	9.1	7.1	300
45	RTS0A45S ⁵	0.120	13-1/2	13-1/2	5	10.2 x 4.2	1 x 36 x 4	466	13.2	9.8	7.3	5.6	300
45	RTS0D45S ⁵	0.180	13-1/2	13-1/2	6	10.2 x 4.2	1-1/4 x 42 x 6	670	26.0	19.8	15.5	12.4	300
50	RTS0A50S ⁵	0.120	13-1/2	13-1/2	5	10.2 x 3.5	1 x 36 x 4	490	7.1	4.7	3.7	2.1	400
50	RTS0D50S ⁵	0.180	13-1/2	13-1/2	6	10.2 x 3.5	1-1/4 x 42 x 6	704	19.0	14.1	10.7	8.3	400

- NOTES:
1. Catalog number includes pole with hardware kit. Anchor bolts not included. Before installing, make sure proper anchor bolts and templates are obtained.
 2. Tenon size or machining for rectangular arms must be specified. Hand hole position relative to drill location.
 3. Shaft size, base square, anchor bolts and projections may vary slightly. All dimensions nominal.
 4. EPAs based on shaft properties with wind normal to flat. EPAs calculated using base wind velocity as indicated plus 30% gust factor.
 5. Two-piece pole.

VIBRATION

Vibrations may cause damage to structures, including poles. Vibrations are unpredictable, and there are many factors and variables that can cause damaging vibrations. Many wind conditions exist that can create damaging vibrations to poles and luminaires, such as constant winds between 10-30 mph. Although all pole types can experience vibration, straight square poles seem to be most prone. Vibration dampers and/or a round tapered design may be used to mitigate damage from vibrations, but there is no guarantee damaging vibrations will be prevented. Vibration dampers are not included with this pole but can be ordered separately. Consult with a professional, and local and federal standards, to ensure this pole is appropriate for the intended purpose and installation location. Refer to Cooper Lighting Solutions' Light Pole White Paper for risk factors and design considerations.

MAINTENANCE

Perform inspections periodically. A prudent inspection schedule would be: one week after installation, one month after installation, yearly after installation, and following any major wind event. During the inspection, check the poles for cracks. If cracks are detected, remedial action is required. Recheck anchor bolt torques and re-tighten according to the recommended torque values. Check for missing covers and pole caps and replace as necessary. Check the pole for corrosion and deterioration of the finish. Should there be corrosion or deterioration, take remedial action to correct.

WARNING: Customer is responsible for engineering analysis to confirm pole and fixture compatibility for all applications. Refer to pole white paper WP513001EN for additional support information. Before installing, make sure proper anchor bolts and templates are obtained. The use of unauthorized accessories such as banners, signs, cameras or pennants for which the pole was not designed voids the pole warranty and may result in pole failure causing serious injury or property damage. Information regarding total loading capacity can be supplied upon request. The pole warranty is void unless poles are used and installed as a complete pole and luminaire combination. This warranty specifically excludes failure as the result of a third party act or omission, misuse, unanticipated uses, fatigue failure or similar phenomena resulting from induced vibration, harmonic oscillation or resonance associated with movement of air currents around the product.

Specifications and dimensions subject to change without notice. Consult your lighting representative at Cooper Lighting Solutions or visit www.cooperlighting.com for available options, accessories and ordering information.

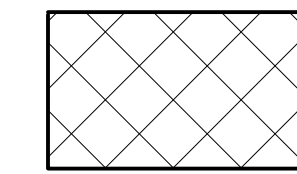


Cooper Lighting Solutions
 1121 Highway 74 South
 Peachtree City, GA 30269
 P: 770-486-4800
www.cooperlighting.com

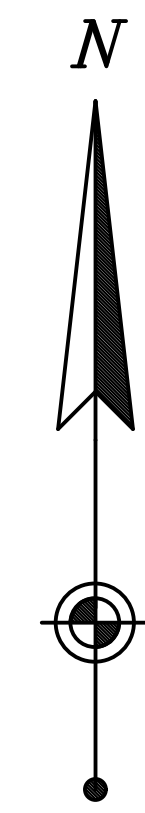
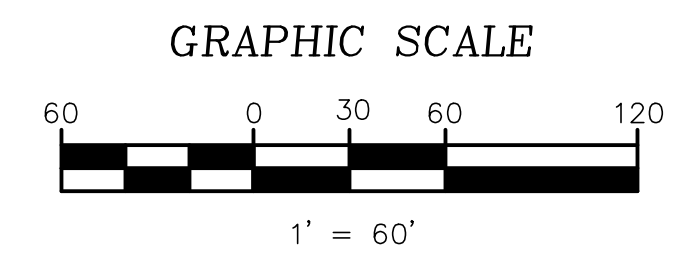
Specifications and dimensions subject to change without notice.



VICINITY MAP
N.T.S.



INDICATES AREA TO BE RE-ZONED TO C-PUD
TOTAL AREA = 29.40 ACRES



THOMAS GRAHAM ASSOCIATES, INC.
• Engineers
• Surveyors
803 Compton Road
Cincinnati, Ohio 45231
513-521-4760
Fax # 521-2439

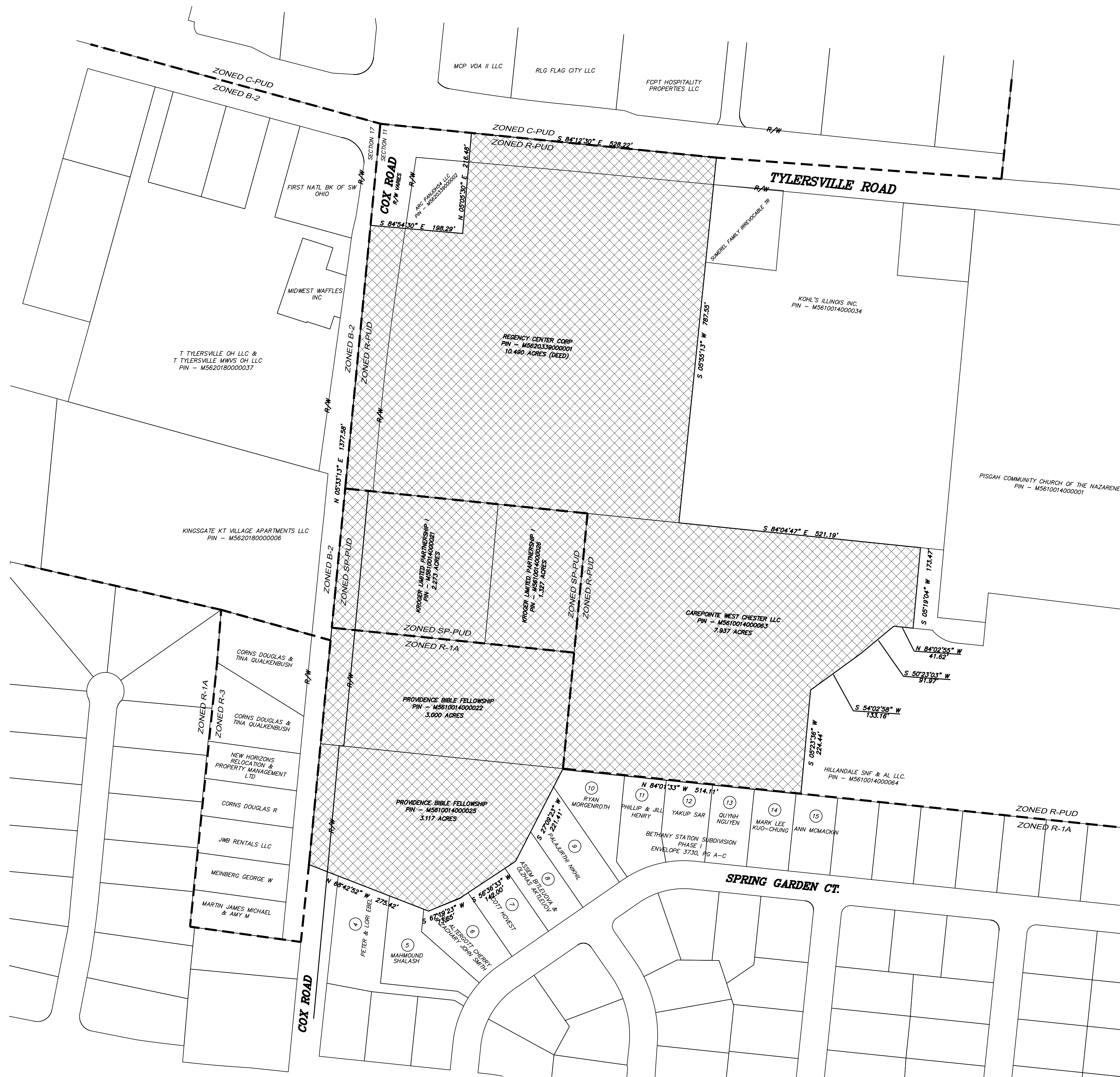
Date: JUNE 9, 2023

Scale: 1" = 100'

Job No: 7303

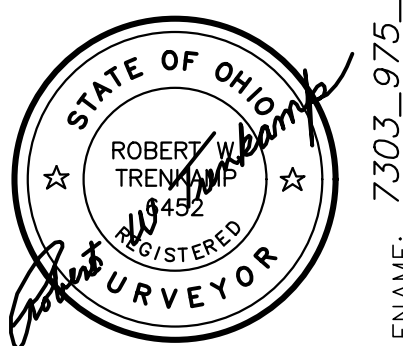
Revisions

No.	Date



ZONING PLAT

SECTION II, TOWN 3, F.RANGE 2
WEST CHESTER TOWNSHIP
BUTLER COUNTY, OHIO



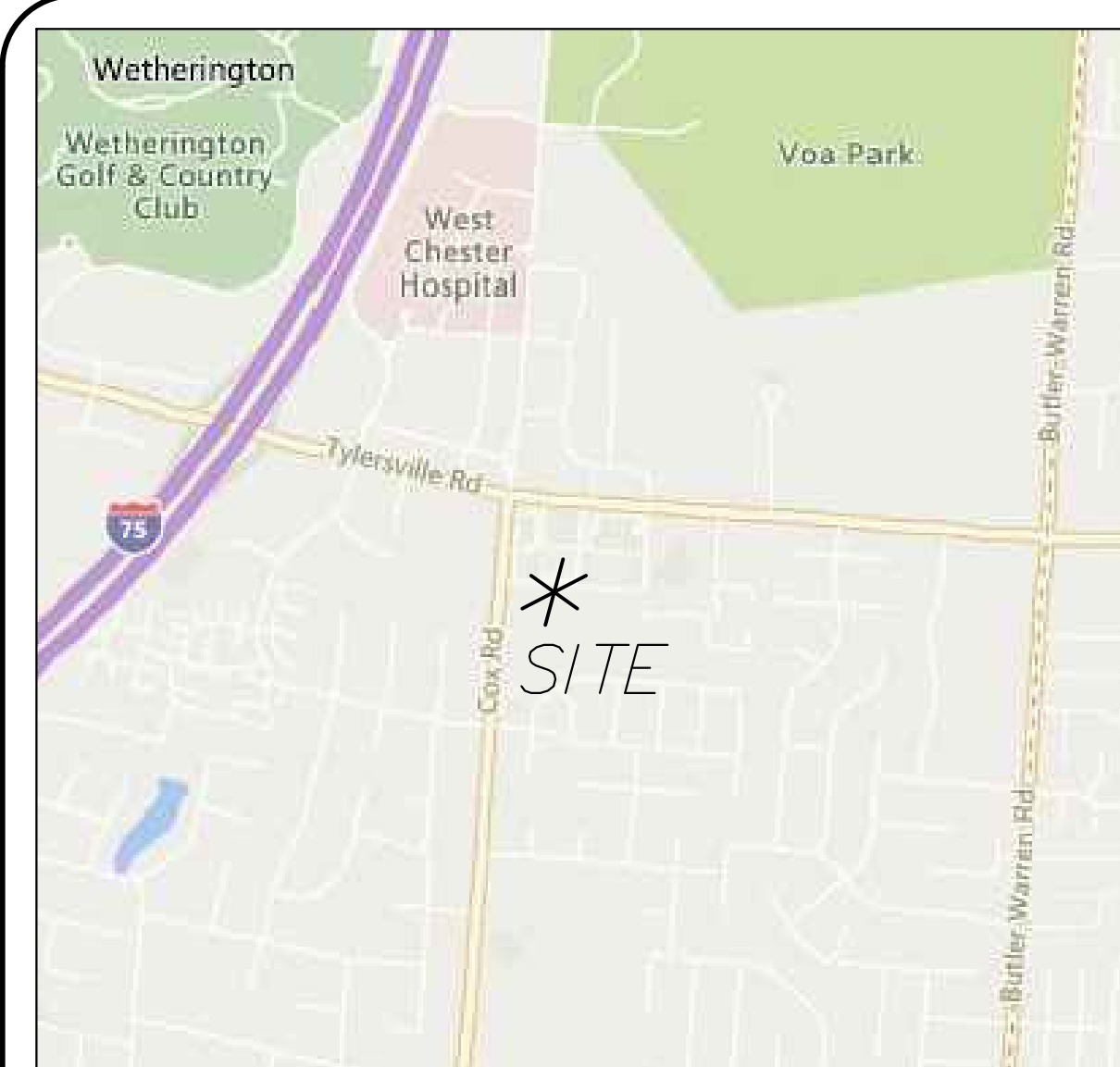
Kroger Store # **975-A**

Drawn By: S. TRENKAMP

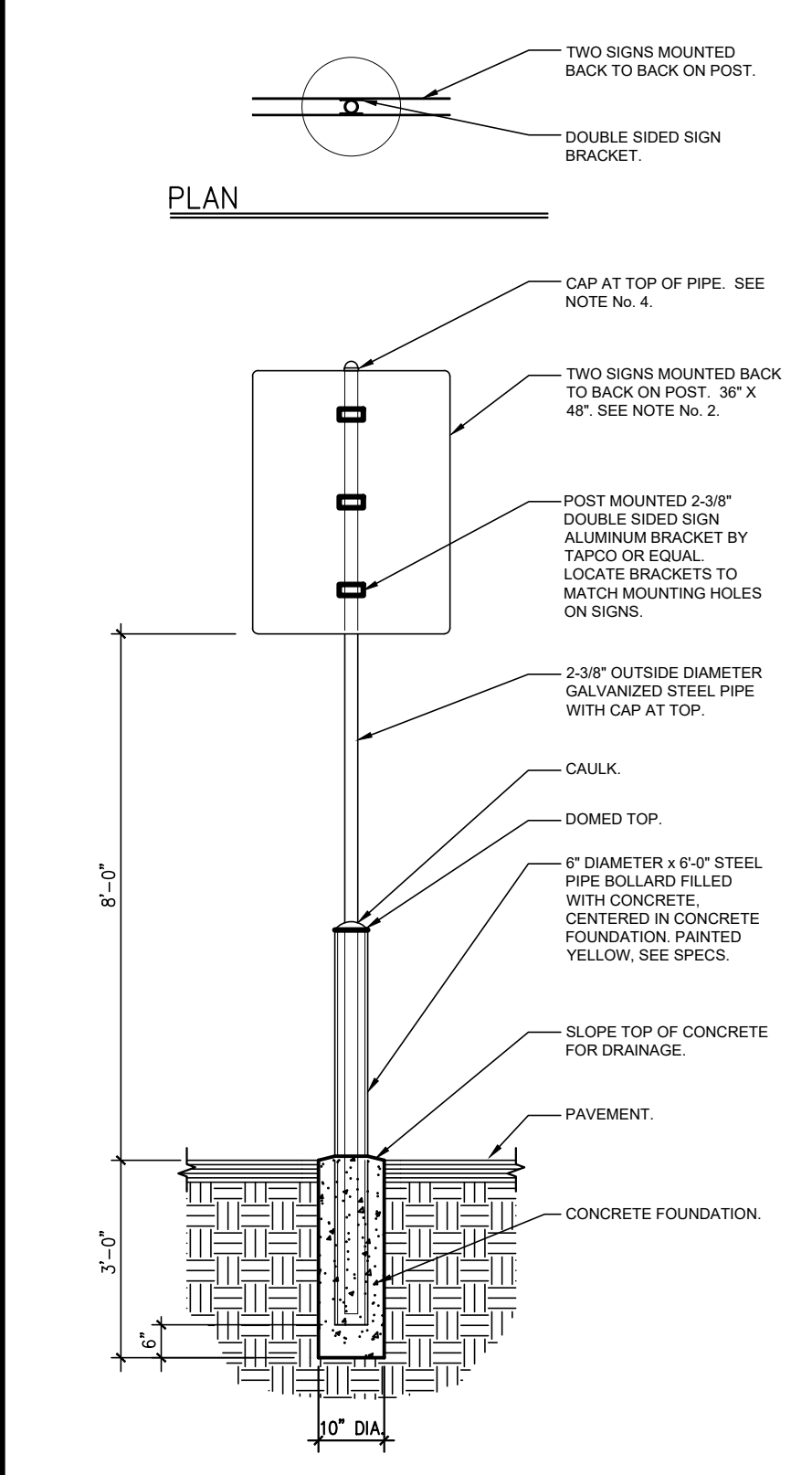
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Job No: 7303-23

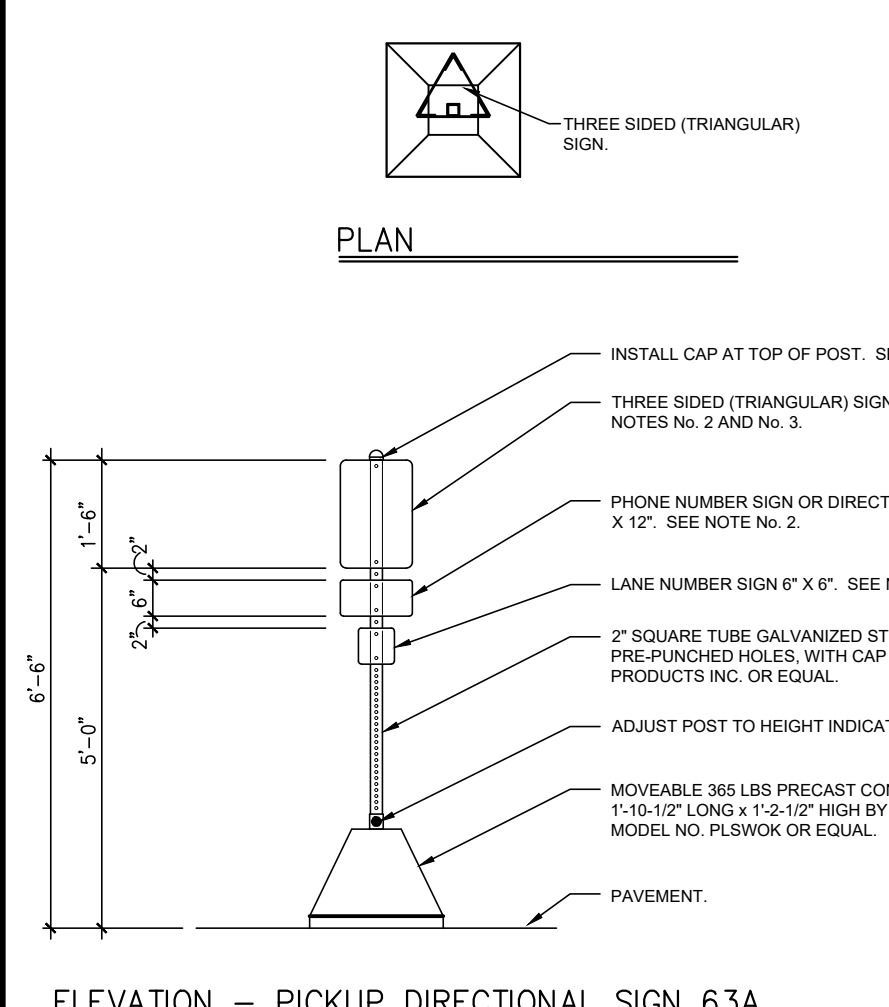
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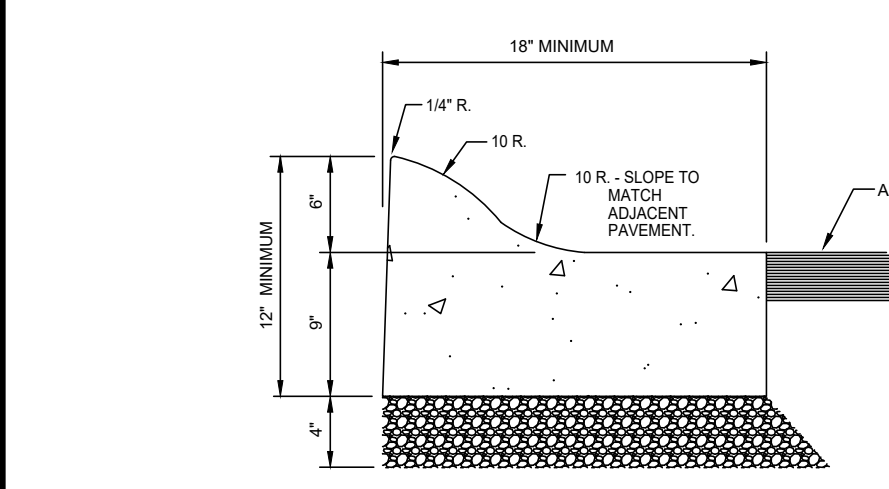
VICINITY MAP
N. T. S.



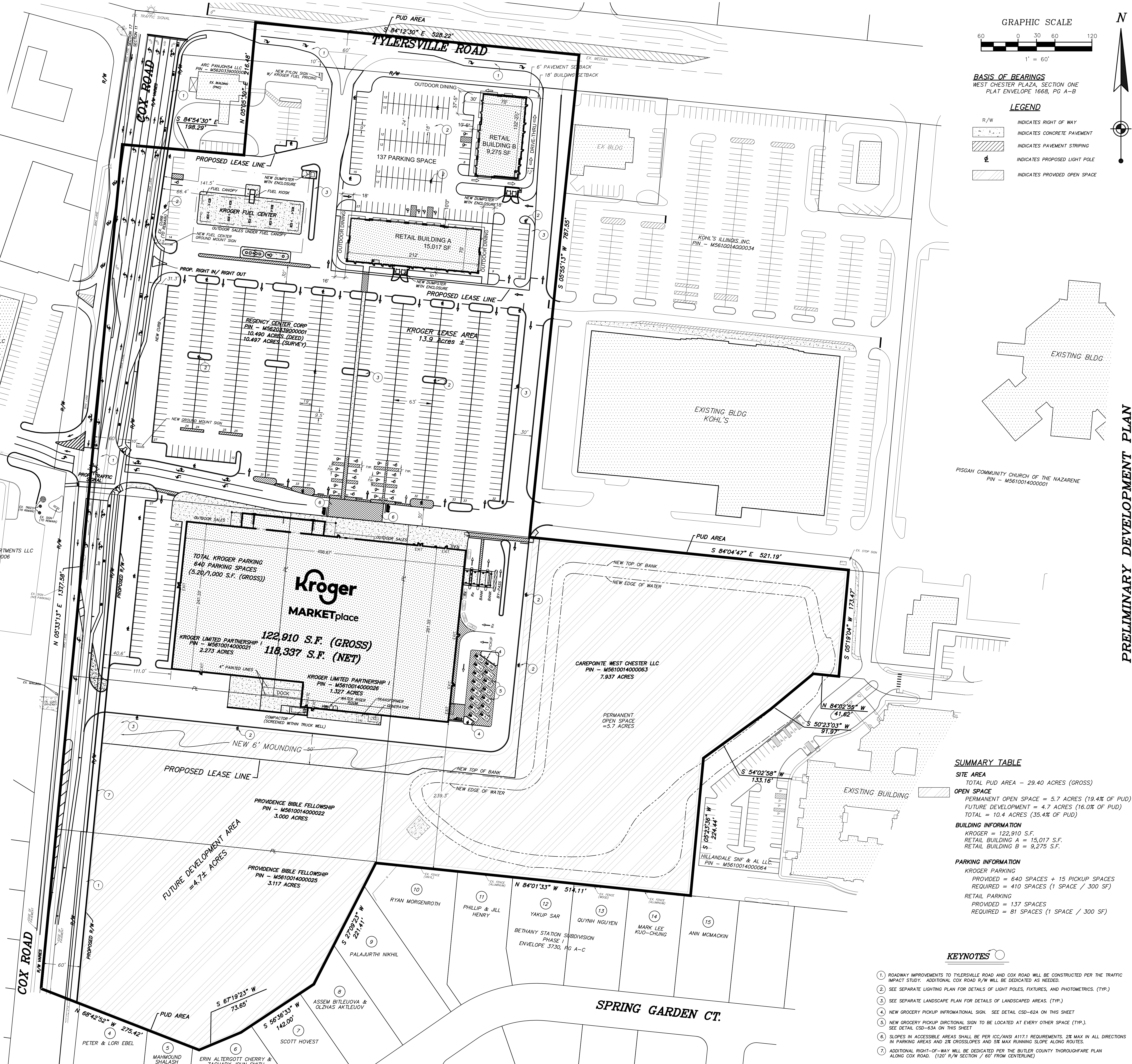
ELEV./SECTION - PICKUP SIGN 62A
PICKUP INFORMATIONAL SIGN
62A
NOT TO SCALE



ELEVATION - PICKUP DIRECTIONAL SIGN 63A
PICKUP DIRECTIONAL SIGN
63A
NOT TO SCALE



CONCRETE CURB AND GUTTER DETAIL
NOT TO SCALE



GRAPHIC SCALE
1" = 60'

BASIS OF BEARINGS
WEST CHESTER PLAZA, SECTION ONE
PLAT ENVELOPE 1668, PG A-B

LEGEND

- R/W INDICATES RIGHT OF WAY
- [Symbol] INDICATES CONCRETE PAVEMENT
- [Symbol] INDICATES PAVEMENT STRIPING
- [Symbol] INDICATES PROPOSED LIGHT POLE
- [Symbol] INDICATES PROVIDED OPEN SPACE

tga
THOMAS GRAHAM ASSOCIATES, INC.
Engineers
Surveyors
803 Compton Road
Cincinnati, Ohio 45231
513-521-4760
Fax # 521-2439

Date: JUNE 21, 2023
Scale: 1" = 60'
Job No: 7303

No.	Date

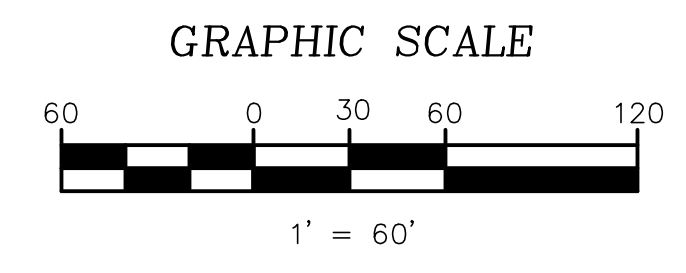
Revisions

PRELIMINARY DEVELOPMENT PLAN
SITE LAYOUT PLAN
SECTION II, TOWN 3, F.RANGE 2
WEST CHESTER TOWNSHIP
BUTLER COUNTY, OHIO

SUMMARY TABLE

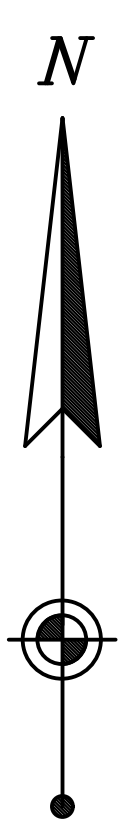
SITE AREA	
TOTAL PUD AREA	29.40 ACRES (GROSS)
OPEN SPACE	
PERMANENT OPEN SPACE	5.7 ACRES (19.4% OF PUD)
FUTURE DEVELOPMENT	4.7 ACRES (16.0% OF PUD)
TOTAL	10.4 ACRES (35.4% OF PUD)
BUILDING INFORMATION	
KROGER	122,910 S.F.
RETAIL BUILDING A	15,017 S.F.
RETAIL BUILDING B	9,275 S.F.
PARKING INFORMATION	
KROGER PARKING	PROVIDED = 640 SPACES + 15 PICKUP SPACES REQUIRED = 410 SPACES (1 SPACE / 300 SF)
RETAIL PARKING	PROVIDED = 137 SPACES REQUIRED = 81 SPACES (1 SPACE / 300 SF)

- KEYNOTES**
- ROADWAY IMPROVEMENTS TO TYLERSVILLE ROAD AND COX ROAD WILL BE CONSTRUCTED PER THE TRAFFIC IMPACT STUDY. ADDITIONAL COX ROAD R/W WILL BE DEDICATED AS NEEDED.
 - SEE SEPARATE LIGHTING PLAN FOR DETAILS OF LIGHT POLES, FIXTURES, AND PHOTOMETRICS. (TYP.)
 - SEE SEPARATE LANDSCAPE PLAN FOR DETAILS OF LANDSCAPED AREAS. (TYP.)
 - NEW GROCERY PICKUP INFORMATIONAL SIGN. SEE DETAIL CSD-62A ON THIS SHEET.
 - NEW GROCERY PICKUP DIRECTIONAL SIGN TO BE LOCATED AT EVERY OTHER SPACE (TYP.). SEE DETAIL CSD-63A ON THIS SHEET.
 - SLOPES IN ACCESSIBLE AREAS SHALL BE PER ICC/ANSI A117.1 REQUIREMENTS. 2% MAX IN ALL DIRECTIONS IN PARKING AREAS AND 2% CROSSLOPES AND 5% MAX RUNNING SLOPE ALONG ROUTES.
 - ADDITIONAL RIGHT-OF-WAY WILL BE DEDICATED PER THE BUTLER COUNTY THOROUGHFARE PLAN ALONG COX ROAD. (120' R/W SECTION / 60' FROM CENTERLINE)



LEGEND

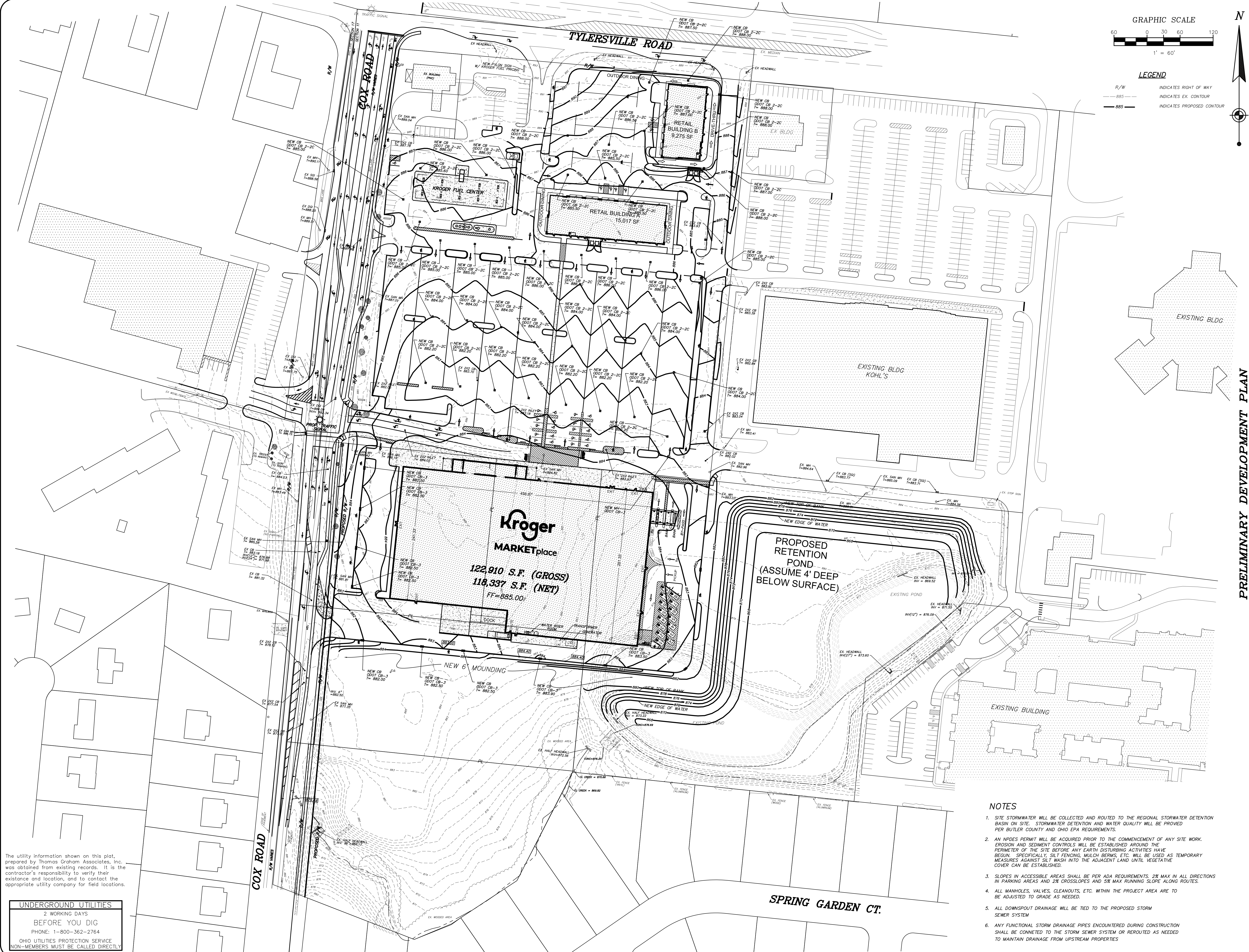
- R/W INDICATES RIGHT OF WAY
- 885 INDICATES EX. CONTOUR
- 885 INDICATES PROPOSED CONTOUR



tga
THOMAS GRAHAM ASSOCIATES, INC.
 • Engineers
 • Surveyors
 803 Compton Road
 Cincinnati, Ohio 45231
 513-521-4760
 Fax # 521-2439

Date: **JUNE 21, 2023**
 Scale: **1" = 60'**
 Job No: **7303**

Revisions	
No.	Date



PRELIMINARY DEVELOPMENT PLAN

SITE GRADING PLAN

SECTION II, TOWN 3, F.RANGE 2
 WEST CHESTER TOWNSHIP
 BUTLER COUNTY, OHIO

The utility information shown on this plat, prepared by Thomas Graham Associates, Inc. was obtained from existing records. It is the contractor's responsibility to verify their existence and location, and to contact the appropriate utility company for field locations.

UNDERGROUND UTILITIES
 2 WORKING DAYS
BEFORE YOU DIG
 PHONE: 1-800-362-2764
 OHIO UTILITIES PROTECTION SERVICE
 NON-MEMBERS MUST BE CALLED DIRECTLY

NOTES

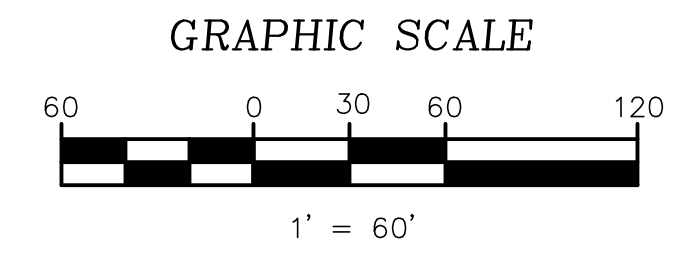
1. SITE STORMWATER WILL BE COLLECTED AND ROUTED TO THE REGIONAL STORMWATER DETENTION BASIN ON SITE. STORMWATER DETENTION AND WATER QUALITY WILL BE PROVIDED PER BUTLER COUNTY AND OHIO EPA REQUIREMENTS.
2. AN NPDES PERMIT WILL BE ACQUIRED PRIOR TO THE COMMENCEMENT OF ANY SITE WORK. EROSION AND SEDIMENT CONTROLS WILL BE ESTABLISHED AROUND THE PERIMETER OF THE SITE BEFORE ANY EARTH DISTURBING ACTIVITIES HAVE BEGUN. SPECIFICALLY, SILT FENCING, MULCH BERMS, ETC. WILL BE USED AS TEMPORARY MEASURES AGAINST SILT WASH INTO THE ADJACENT LAND UNTIL VEGETATIVE COVER CAN BE ESTABLISHED.
3. SLOPES IN ACCESSIBLE AREAS SHALL BE PER ADA REQUIREMENTS. 2% MAX IN ALL DIRECTIONS IN PARKING AREAS AND 2% CROSSLOPES AND 5% MAX RUNNING SLOPE ALONG ROUTES.
4. ALL MANHOLES, VALVES, CLEANOUTS, ETC. WITHIN THE PROJECT AREA ARE TO BE ADJUSTED TO GRADE AS NEEDED.
5. ALL DOWNSPOUT DRAINAGE WILL BE TIED TO THE PROPOSED STORM SEWER SYSTEM.
6. ANY FUNCTIONAL STORM DRAINAGE PIPES ENCOUNTERED DURING CONSTRUCTION SHALL BE CONNECTED TO THE STORM SEWER SYSTEM OR REROUTED AS NEEDED TO MAINTAIN DRAINAGE FROM UPSTREAM PROPERTIES.

Kroger Store # **975-A**
 Drawn By: **S. TRENKAMP**
 Sheet **C2.0**
 Job No: 7303-18

ACAD FILENAME: 7303_975-ALTA.DWG



VICINITY MAP
N.T.S.



LEGEND

- INDICATES EX. UTILITY POLE
- INDICATES EX. TRAFFIC SIGNAL POLE
- INDICATES EX. GUY WIRE
- INDICATES EX. STORM INLET
- INDICATES EX. FIRE HYDRANT
- INDICATES EX. UNDERGROUND WATER
- INDICATES EX. UNDERGROUND GAS
- INDICATES EX. UNDERGROUND TELEPHONE
- INDICATES EX. OVERHEAD UTILITIES
- INDICATES EX. FENCE
- INDICATES EX. CONCRETE PAVEMENT
- INDICATES EX. CONTOUR
- INDICATES EX. LIGHT POLE
- INDICATES EX. STORM SEWER
- INDICATES EX. SANITARY SEWER
- INDICATES EX. MANHOLE
- INDICATES EX. CLEAN OUT
- INDICATES EX. DOWNSPOUT
- INDICATES EX. METAL POST
- INDICATES EX. RIGHT OF WAY

PROPOSED UTILITY LEGEND

- INDICATES PROPOSED 6" SAN. LATERAL (SDR 26)
- INDICATES PROPOSED GAS SERVICE LINE (CONFIRM SIZE WITH MEP)
- INDICATES PROPOSED WATER LINE
- INDICATES PROPOSED FIRE LINE
- INDICATES PROPOSED COMMUNICATION/DATA CONDUIT
- INDICATES PROPOSED ELECTRIC SERVICE/CONDUIT
- INDICATES PROPOSED LIGHT POLE



PRELIMINARY DEVELOPMENT PLAN

SITE UTILITY PLAN

SECTION II, TOWN 3, FRANGE 2
WEST CHESTER TOWNSHIP
BUTLER COUNTY, OHIO

tga
THOMAS GRAHAM ASSOCIATES, INC.
• Engineers
• Surveyors
803 Compton Road
Cincinnati, Ohio 45231
513-521-4760
Fax # 521-2439

Date:	JUNE 21, 2023
Scale:	1" = 60'
Job No.:	7303
Revisions:	
No.	Date

The utility information shown on this plat, prepared by Thomas Graham Associates, Inc. was obtained from existing records. It is the contractor's responsibility to verify their existence and location, and to contact the appropriate utility company for field locations.

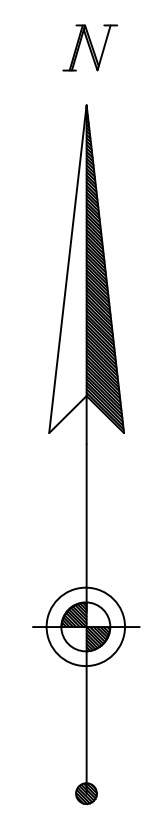
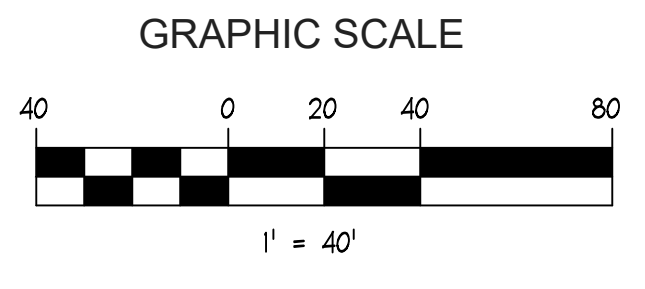
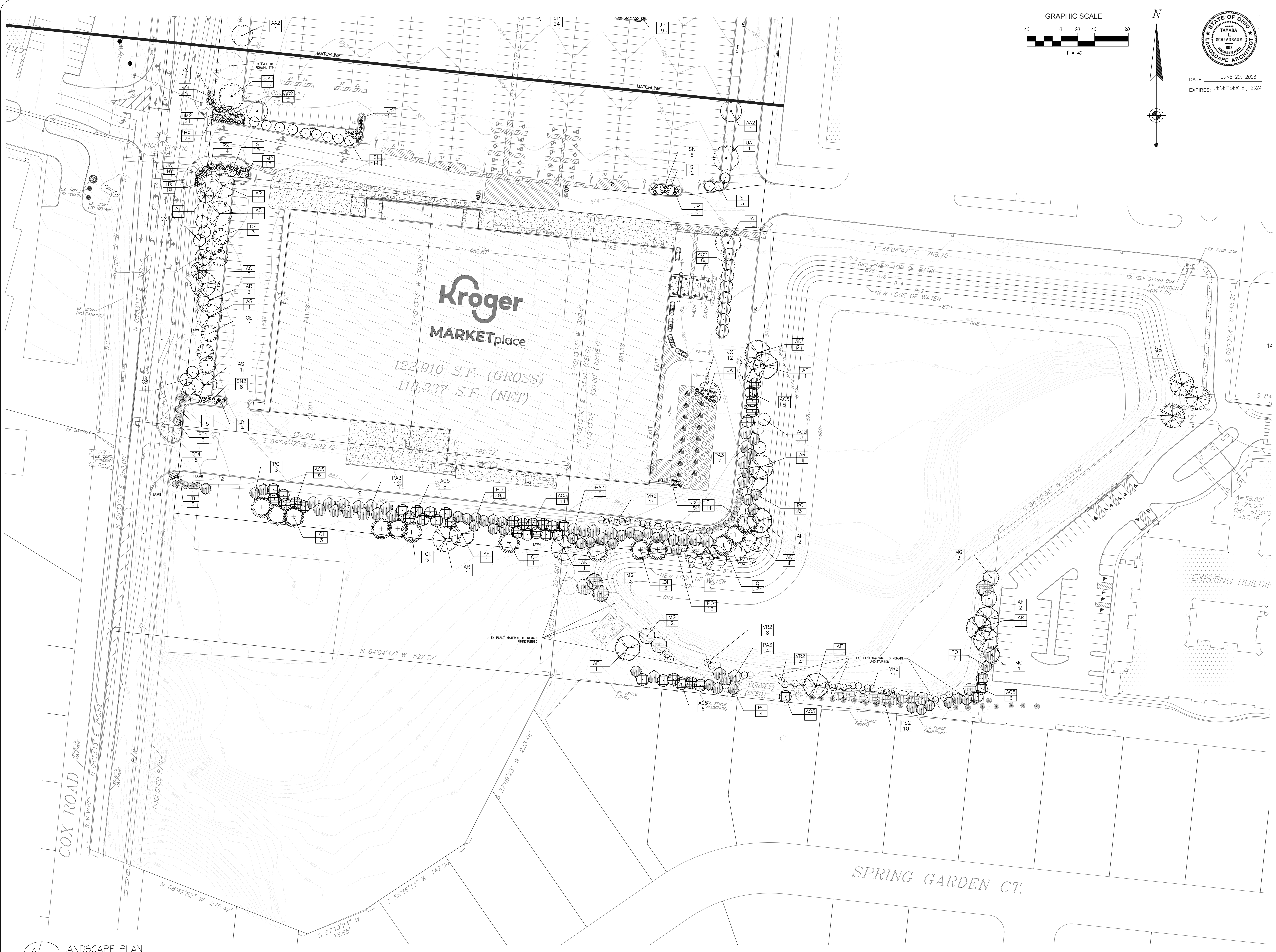
UNDERGROUND UTILITIES
2 WORKING DAYS
BEFORE YOU DIG
PHONE: 1-800-362-2764
OHIO UTILITIES PROTECTION SERVICE
NON-MEMBERS MUST BE CALLED DIRECTLY

NOTES

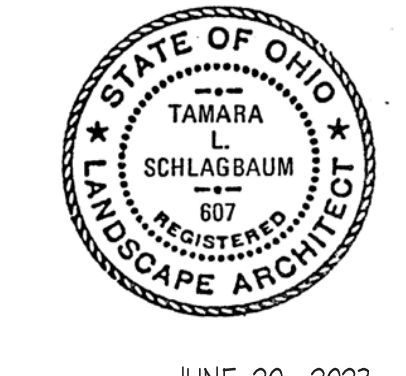
1. WATER & SANITARY SERVICE TO BE PROVIDED PER BUTLER COUNTY WATER & SEWER DEPARTMENT REQUIREMENTS.
2. GAS AND ELECTRIC SERVICE TO BE PROVIDED PER DUKE ENERGY REQUIREMENTS
3. SITE STORMWATER WILL BE COLLECTED AND ROUTED TO THE REGIONAL STORMWATER DETENTION BASIN ON SITE. STORMWATER DETENTION AND WATER QUALITY WILL BE PROVIDED PER BUTLER COUNTY AND OHIO EPA REQUIREMENTS.

Kroger Store # **975-A**
Drawn By: S. TRENKAMP
Sheet **C3.0**
Job No: 7303-18

ACAD FILENAME: 7303_975-ALTA.DWG



DATE: JUNE 20, 2023
 EXPIRES: DECEMBER 31, 2024



Jacobs
 2 CROONE POINT COURT #4241
 CINCINNATI, OHIO 45241
 PH: 513-596-7916
 FAX: 513-596-7939
 WWW.JACOBS.COM

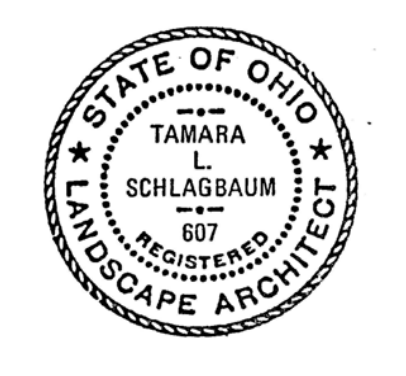
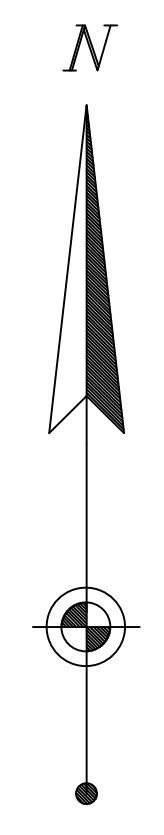
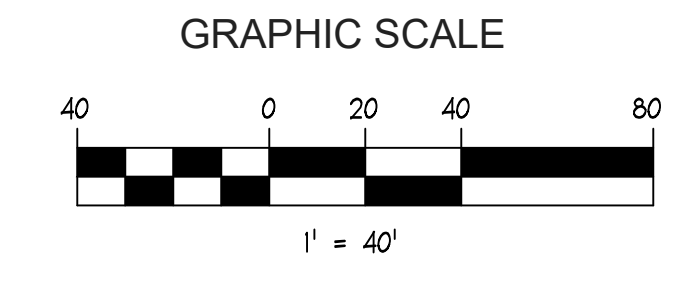
Date: JUNE 20, 2023
 Scale: 1" = 40'
 Job No: F7X99001-WBS 17

Revisions	
No.	Date

LANDSCAPE PLAN
 KROGER
 WEST CHESTER TOWNSHIP
 BUTLER COUNTY, OHIO

A/LSI LANDSCAPE PLAN
 SCALE: 1" = 40'-0"

Kroger Store # 975-A
 Drawn By: T. SCHLAG
 Sheet LSI
 Job No: F7X99001-WBS 17



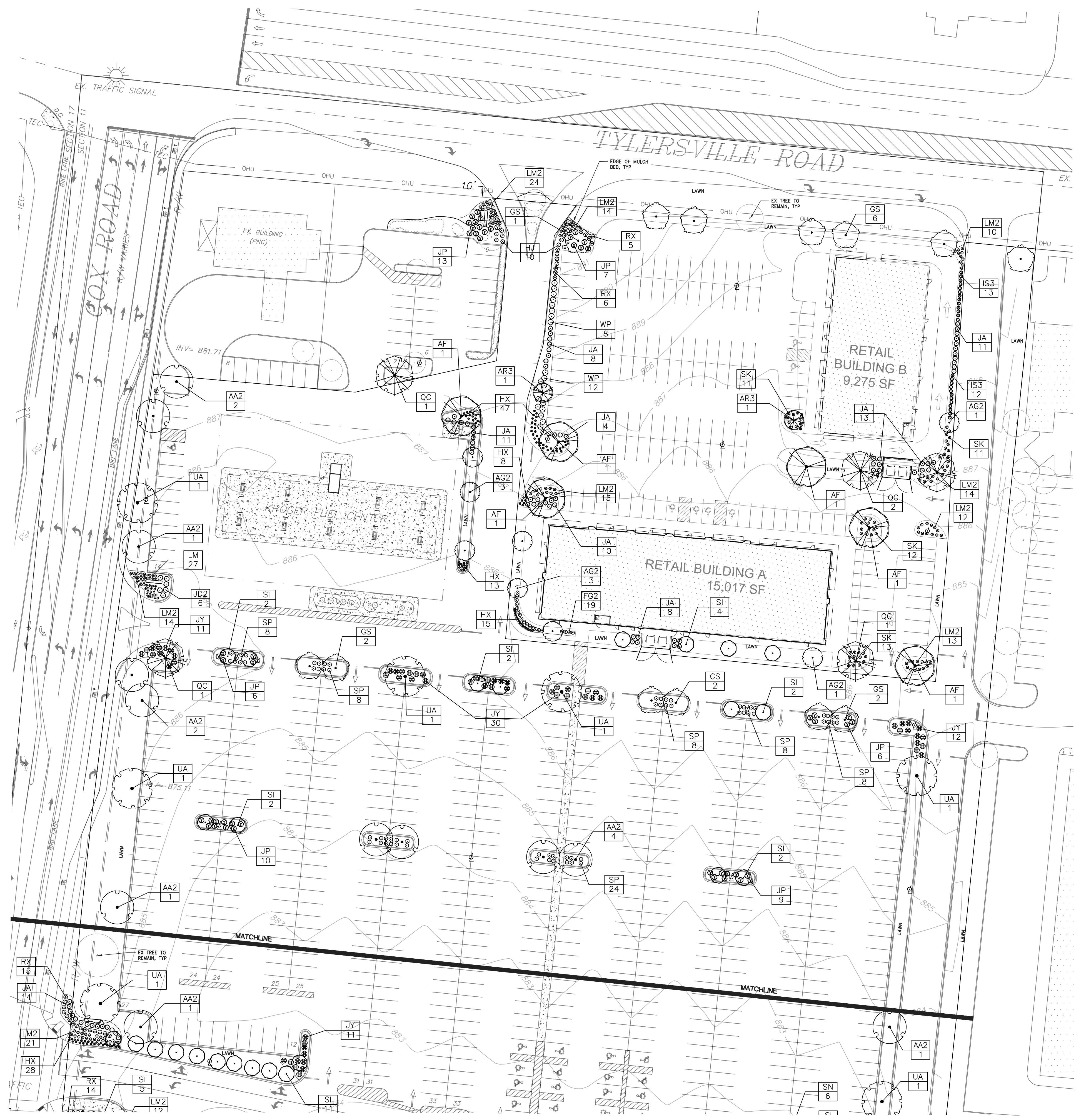
DATE: JUNE 20, 2023
EXPIRES: DECEMBER 31, 2024

Jacobs
2 CROANNE POINT COURT
CINCINNATI, OHIO 45241
PH: 513-596-7916
FAX: 513-596-7939
WWW.JACOBS.COM

Date: JUNE 20, 2023
Scale: 1" = 40'
Job No: F7X99001-WBS 17

Revisions

No.	Date



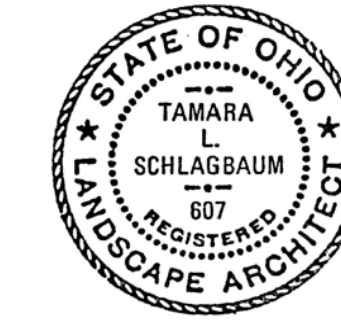
PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	COND.	HEIGHT	SPREAD	TIME/COLOR	FALL COLOR
ACS	40	ABIES CONCOLOR	WHITE FIR	6' HT	B&B	30'-50'	15'-20'		EVERGREEN
AC	3	ACER CAMPESTRE 'METRO GOLD'	METRO GOLD HEDGE MAPLE	2.5' CAL.	B&B	30'-35'	20'		YELLOW
AF	14	ACER FREEMANI 'AUTUMN BLAZE'	AUTUMN BLAZE MAPLE	2' CAL.	B&B	40'-60'	30'-40'		RED
AG2	28	ACER NIGRUM 'GREENCOLUMN'	GREEN COLUMN BLACK MAPLE	2' CAL.	B&B	50'	15'-20'		YELLOW-ORANGE
ARS	2	ACER RUBRUM 'ARMSTRONG'	ARMSTRONG RED MAPLE	2' CAL.	B&B	35'-40'	10'-12'		RED-ORANGE
AA2	15	ACER RUBRUM 'AUTUMN FLAME'	AUTUMN FLAME RED MAPLE	2' CAL.	B&B	30'-40'	20'-30'		RED-ORANGE
AR	14	ACER RUBRUM 'OCTOBER GLORY' TM	OCTOBER GLORY MAPLE	2.5' CAL.	B&B	50'	35'-40'		ORANGE
AS	3	ACER SACCHARUM 'MAJESTY' TM	FLAX MILL MAJESTY SUGAR MAPLE	2' CAL.	B&B	50'	30'-40'		ORANGE-RED
CE	6	CARPINUS BETULUS 'EMERALD AVENUE' TM	EUROPEAN HORNBEECH	2' CAL.	B&B	40'	25'		YELLOW
CX	6	CORNUS X RUTGERSENSIS 'STELLAR PINK'	PINK FLOWERING STELLAR DOGWOOD	2' CAL.	B&B	20'-25'	15'-20'	APRIL-MAY / PINK	RED
GS	13	GLEDTISIA TRIACANTHOS 'SKYLINE'	SKYLINE HONEY LOCUST	2' CAL.	B&B	25'-30'	20'-30'		GOLDEN YELLOW
MG	9	METASEQUOIA GLYPTOSTROBOIDES	DAWN REDWOOD	10' HT.	B&B	50'-60'	25'		RED-BROWN
PA3	31	PICEA ABIES	NORWAY SPRUCE	6' HT	B&B	40'-60'	20'-30'		EVERGREEN
PO	38	PICEA OMORIKA	SERBIAN SPRUCE	6' HT	B&B	40'-60'	15'-20'		EVERGREEN
PS2	10	PINUS STROBUS	EASTERN WHITE PINE	10' HT.	B&B	50'-60'	20'-30'		EVERGREEN
OB	3	QUERCUS BICOLOR	SWAMP WHITE OAK	2.5' CAL.	B&B	50'-60'	50'-60'		YELLOW
QC	5	QUERCUS COCCINEA	SCARLET OAK	2' CAL.	B&B	50'-60'	40'-60'		RED
OI	13	QUERCUS IMBRICARIA	SHINGLE OAK	2.5' CAL.	B&B	40'-60'	40'-50'		YELLOW-BROWN
SI	38	SYRINGA RETICULATA 'IVORY SILK'	IVORY SILK JAPANESE TREE LILAC	2' CAL.	B&B	20'-25'	12'-15'	JUNE-JULY / WHITE	YELLOW
UA	12	ULMUS AMERICANA 'PRINCETON'	AMERICAN ELM	2' CAL.	B&B	50'-60'	30'-40'		YELLOW

SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	COND.	HEIGHT	SPREAD	TIME/COLOR	FALL COLOR
BT4	11	BERBERIS THUNBERGII 'ATROPURPUREA NANA'	DWARF REDLEAF JAPANESE BARBERRY	3 GAL.	POT	3'-4'	3'-4'		ORANGE-RED
FG2	28	FOTHERGILLA GARDENII 'BLUE MIST'	BLUE MIST FOTHERGILLA	3 GAL.	POT	2'-3'	2'-3'	MAY / WHITE	ORANGE-RED
HJ	10	HYDRANGEA PANICULATA 'JANE'	LITTLE LIME® PANICLE HYDRANGEA	3 GAL.	POT	3'-4'	3'-5'	JUNE-SEPT / WHITE GREEN	
IS3	25	ILEX GLABRA 'LEXFARROWTRACEY'	STRONGBOX® INKBERRY HOLLY	3 GAL.	POT	2'-3'	2'-3'		SEMI-EVERGREEN
JD2	10	JUNIPERUS CHINENSIS 'DAUB'S FROSTED'	DAUB'S FROSTED JUNIPER	3 GAL.	POT	12'-18"	5'		EVERGREEN
JD	32	JUNIPERUS CHINENSIS 'DAUB'S FROSTED'	DAUB'S FROSTED JUNIPER	3 GAL.	POT	12'-18"	5'		EVERGREEN
JY	68	JUNIPERUS HORIZONTALIS PLUMOSA 'YOUNGSTOWN'	YOUNGSTOWN CREEPING JUNIPER	3 GAL.	POT	1'-2'	4'-5'		EVERGREEN
JP	57	JUNIPERUS PROCEMBENS 'NANA'	SHORE JUNIPER	3 GAL.	POT	1'	4'-6'		EVERGREEN / PURPLE TINGE
JX	34	JUNIPERUS X 'GREY OWL'	GREY OWL JUNIPER	3 GAL.	POT	3'	5'-6'		EVERGREEN
JA	107	JUNIPERUS X PRITZERIANA 'AUREA IMPROVED'	GOLD COAST JUNIPER	3 GAL.	POT	3'	3'-4'		EVERGREEN
RX	40	ROSA X 'FLOWER CARPET PINK'	CARPET PINK KNOCKOUT ROSE	3 GAL.	POT	2'-3'	3'	MAY-OCT / PINK	
SP	64	SPIRAEA JAPONICA 'SMNSJMFP' TM	DOUBLE PLAY PINK SPIREA	3 GAL.	POT	2'-3'	2'-3'	MAY-SEPT/PINK	
SN	31	SPIRAEA JAPONICA 'SMNSJMFP'	DOUBLE PLAY® RED SPIREA	5 GAL.	POT	3'	3'	APRIL-JUNE / RED	GOLDEN
SK	47	SPIRAEA MEDIA 'SMMSBK'	BLUE KAZOO® DOUBLE PLAY® SPIREA	2 GAL.	POT	2'-3'	2'-3'	JUNE-SEPT / PURPLE	RED PURPLE
SN2	8	SPIRAEA NIPPONICA 'SNOWMOUND'	SNOWMOUND SPIREA	3 GAL.	POT	3'-5'	3'-5'	APRIL-MAY / CREAMY WHITE	
TI	27	THUJA X 'GREEN GIANT'	GREEN GIANT ARBORVITAE	6' HT	B&B	20'-25'	8'-10'		EVERGREEN
VR2	50	VIBURNUM RHYTHIDOPHYLLUM 'WILLOWWOOD'	WILLOWWOOD VIBURNUM	5 GAL.	POT	10'-12'	10'-12'	APRIL-MAY / CREAMY WHITE	SEMI-EVERGREEN
WS	4	WEIGELA FLORIDA 'BOKRASPIWI' TM	SPILLED WINE WEIGELA	1.5' HT.	POT	2'-3'	2'-3'	MAY-JUNE / PINK	
WP	20	WEIGELA FLORIDA 'PINK PRINCESS'	PINK PRINCESS WEIGELA	3 GAL.	POT	4'-5'	4'-5'	MAY-JUNE / PINK	

ANNUALS/PERENNIALS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	COND.	HEIGHT	SPREAD	TIME/COLOR	FALL COLOR
CX2	8	CALAMAGOSTIS X ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	2 GAL.	POT	2'-3'	2'	JUNE-SEPT / REDDISH BROWN	GOLDEN
GM	41	GERANIUM SANGUINEUM 'MAX FRED'	MAX FRED BLOODED GERANIUM	1 GAL.	POT	1'	1'-2'	MAY-SEPT / PURPLE	
HX	125	HEMEROCALLIS X 'BONANZA'	BONANZA DWARF DAYLILY	2 GAL.	POT	18"-24"	12"-18"	JUNE-SEP / GOLDEN YELLOW	
LM	27	LIRIOPE MUSCARI 'BIG BLUE'	BIG BLUE LILYTURF	2 GAL.	POT	12"-18"	12"-15"	JUNE-SEPT / BLUE	
LM2	169	LIRIOPE MUSCARI 'VARIEGATA'	VARIEGATED LILY TURF	2 GAL.	POT				
VA	23	VERONICA AUSTRACA TEUCRIUM 'CRATER LAKE BLUE'	AUSTRIAN SPEEDWELL	2 GAL.	POT	12"-18"	12"-18"	JUNE-SEPT / BLUE	

B / LS2 OVERALL PLANT SCHEDULE



DATE: JUNE 20, 2023
EXPIRES: DECEMBER 31, 2024

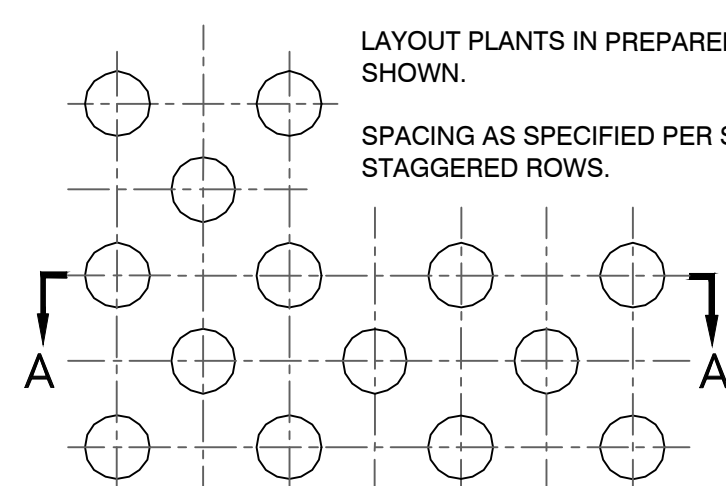
Jacobs
2 CROANE POINT COURT
CINCINNATI, OHIO 45241
PH: 513-595-7916
FAX: 513-595-7939
WWW.JACOBS.COM

Date: JUNE 20, 2023
Scale: AS SHOWN
Job No: F7X99001-WBS 17

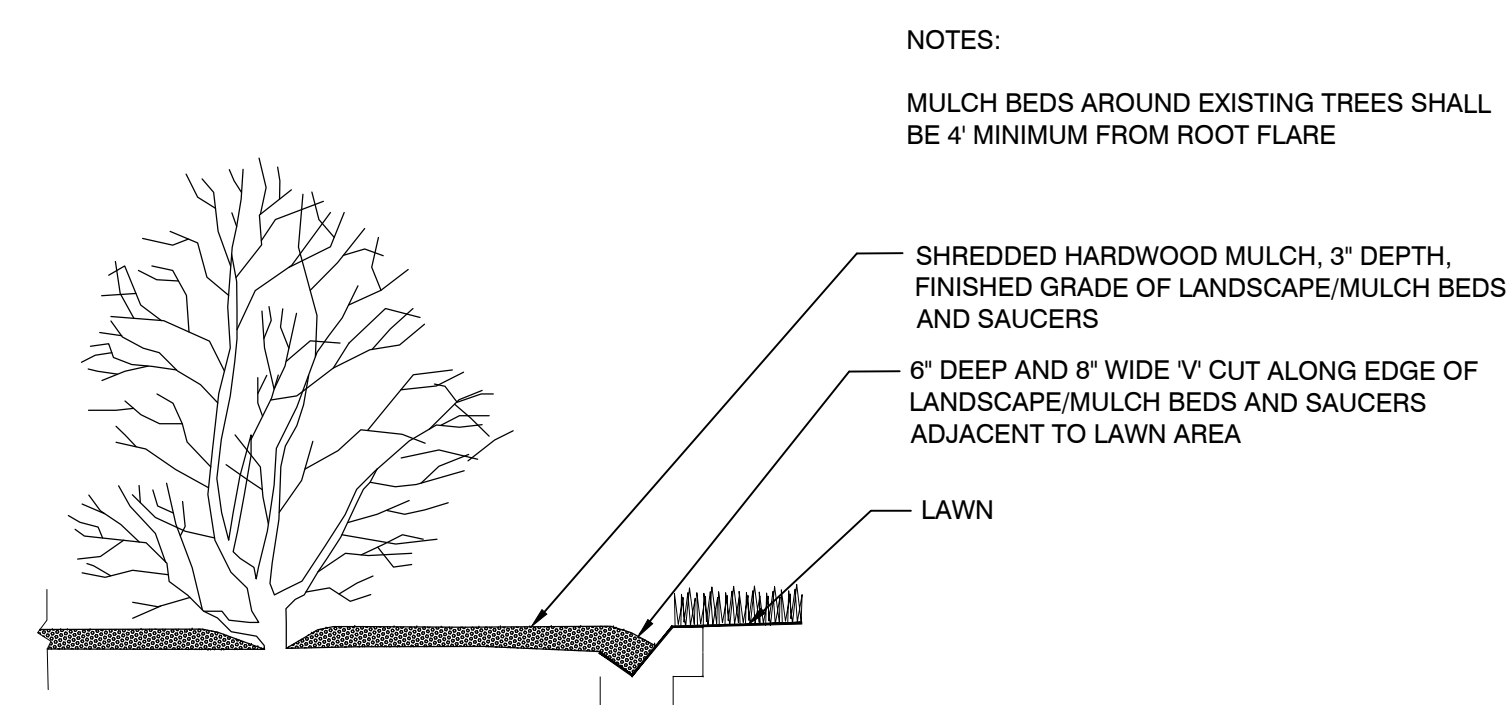
Revisions	
No.	Date

GENERAL NOTES

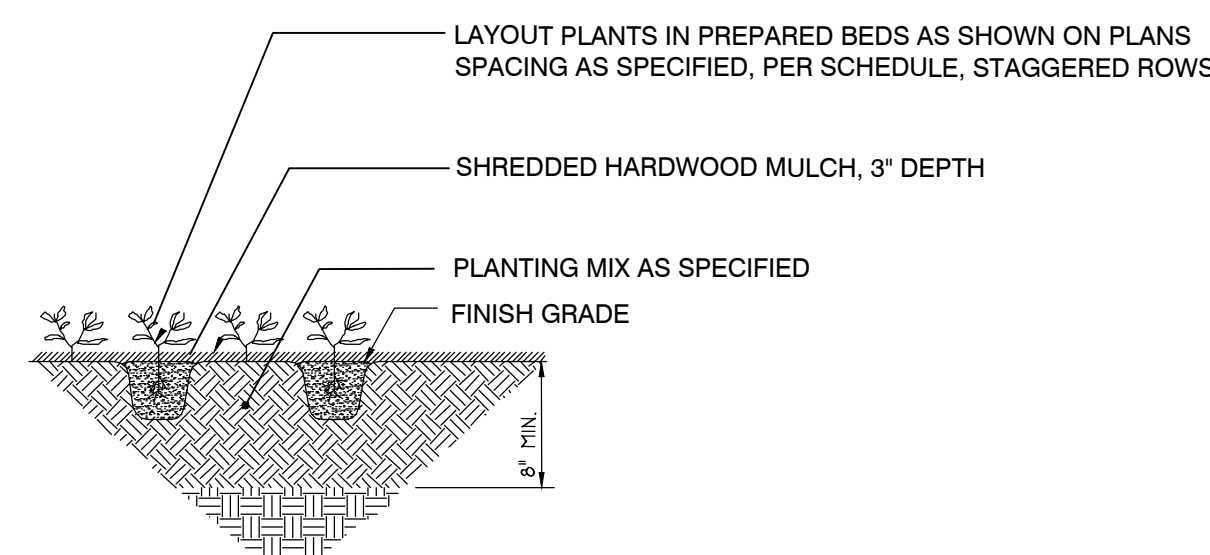
LAYOUT PLANTS IN PREPARED BEDS AS SHOWN.
SPACING AS SPECIFIED PER SCHEDULE: STAGGERED ROWS.



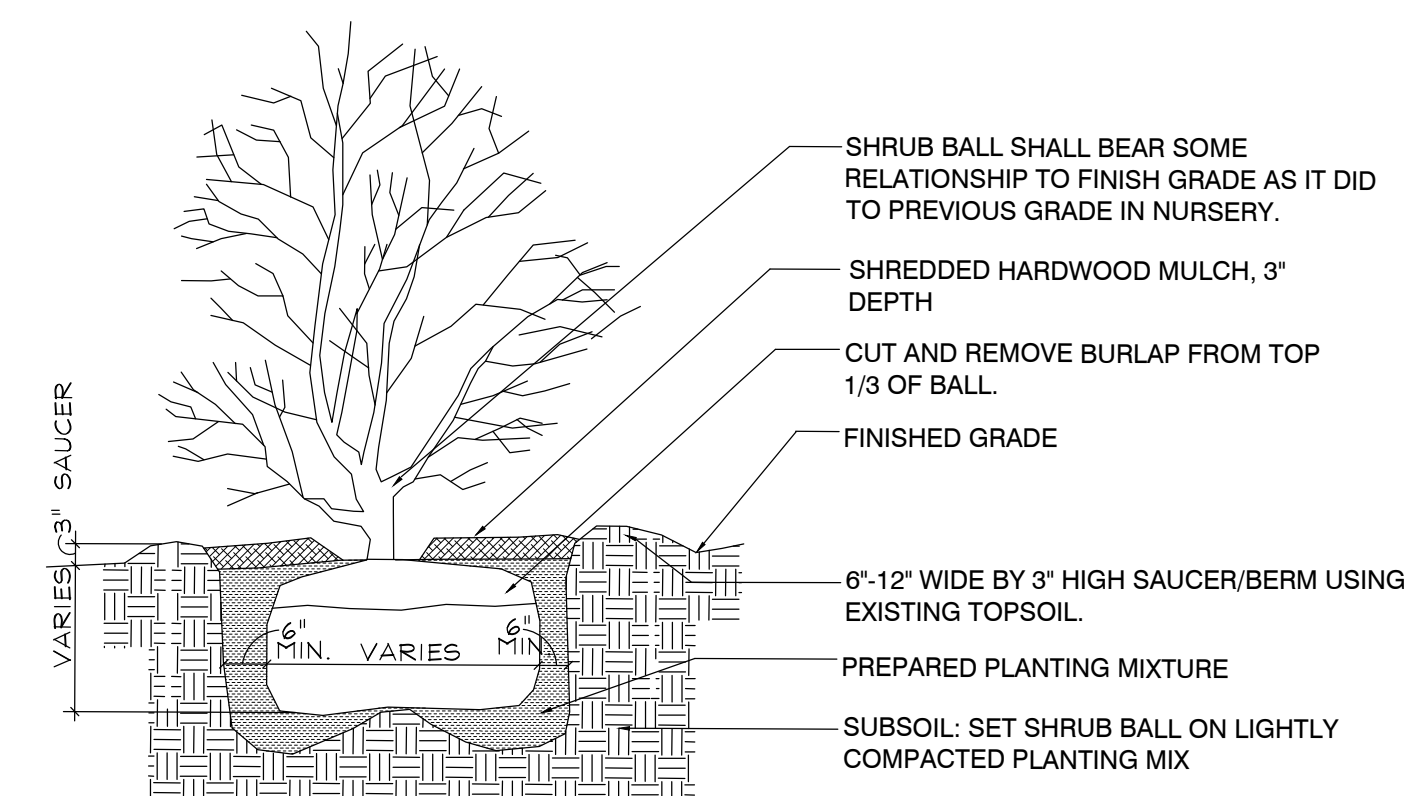
PLAN VIEW



MULCH BED EDGE DETAIL



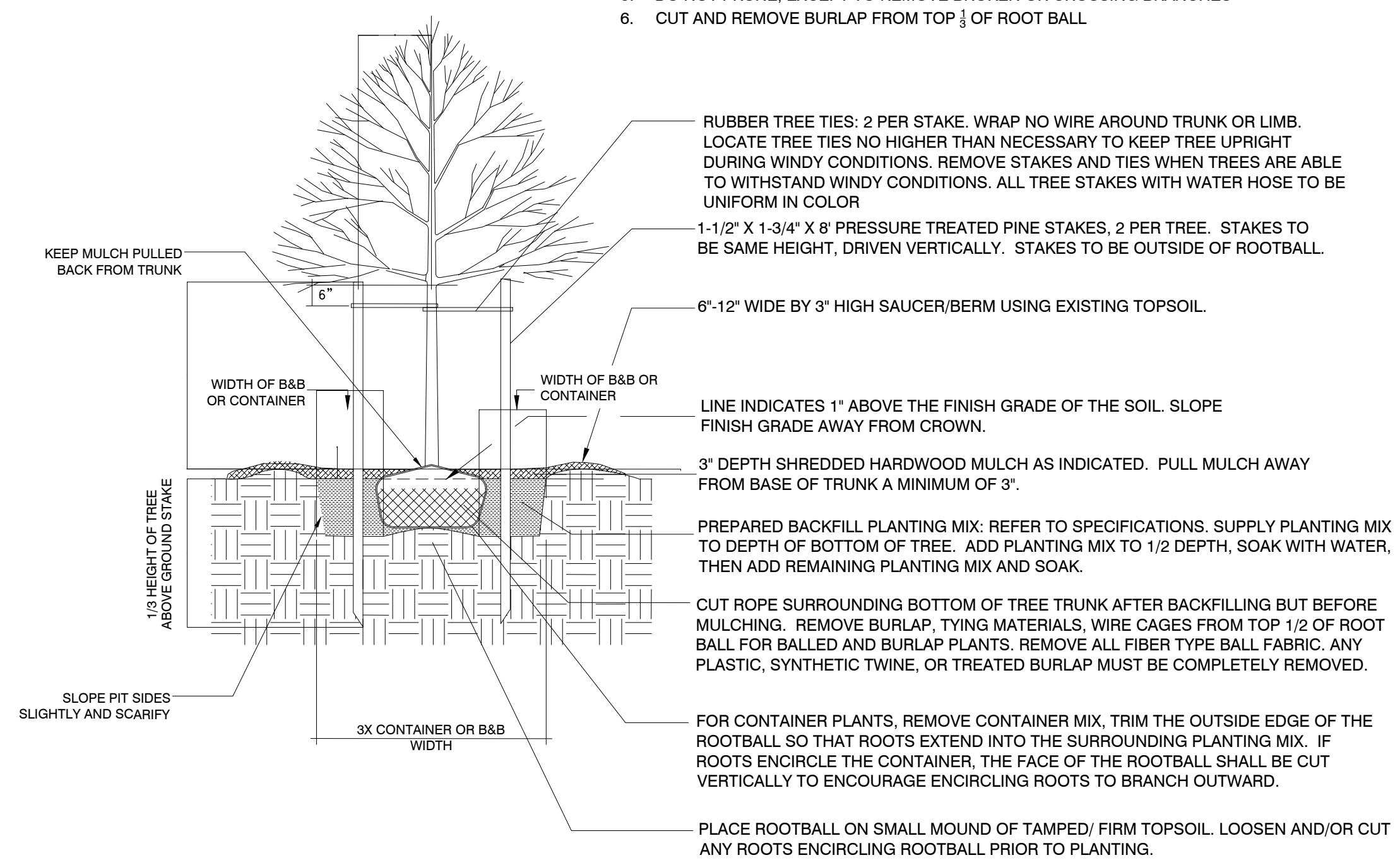
PERENNIAL & GROUND COVER PLANTING DETAIL



SHRUB PLANTING DETAIL

NOTES:

- TREE SHALL BE PLUMB AND STRAIGHT; TREES 8' AND TALLER SHALL BE STAKED AS SHOWN.
- PLANTING PIT: SLOPE SIDES SLIGHTLY, AND SCARIFY TO PROVIDE EASIER ROOT PENETRATION. PITS SHALL HAVE POSITIVE DRAINAGE. PITS WHEN FULLY FLOODED SHALL DRAIN WITHIN 2 HOURS OF FILLING. THE CONTRACTOR IS TO ENSURE THAT ALL PLANTING PITS HAVE POSITIVE DRAINAGE.
- REMOVE ANY SHOOTS UP TO 6\"/>



TREE PLANTING DETAIL

LANDSCAPE DETAILS

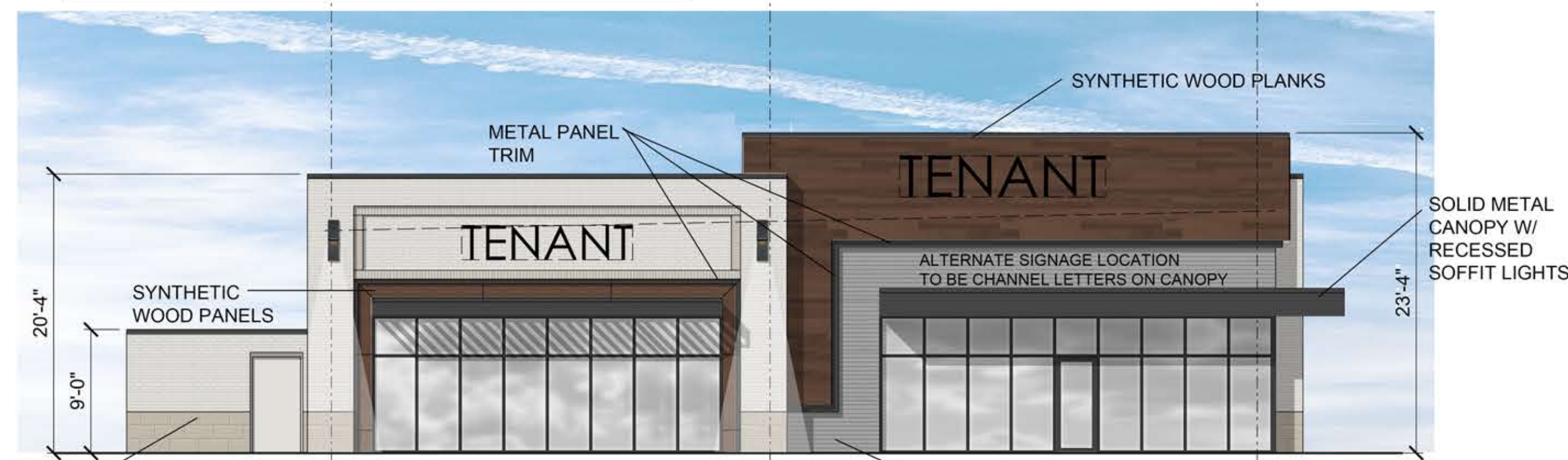
KROGER
WEST CHESTER TOWNSHIP
BUTLER COUNTY, OHIO



- FACADE 5,046 SF X .08 = 404 SF
- PROPOSED 360 SF OF BUILDING SIGNAGE SPREAD ACROSS 8 SIGNS
- SIGNS MAY BE INTERNALLY LIT, BACK LIT CHANNEL LETTERS, PAINTED, OR ANY COMBINATION THEREOF.
- SIGNS MAY BE BUILDING MOUNTED OR CANOPY MOUNTED

**BUILDING A
NORTH ELEVATION**

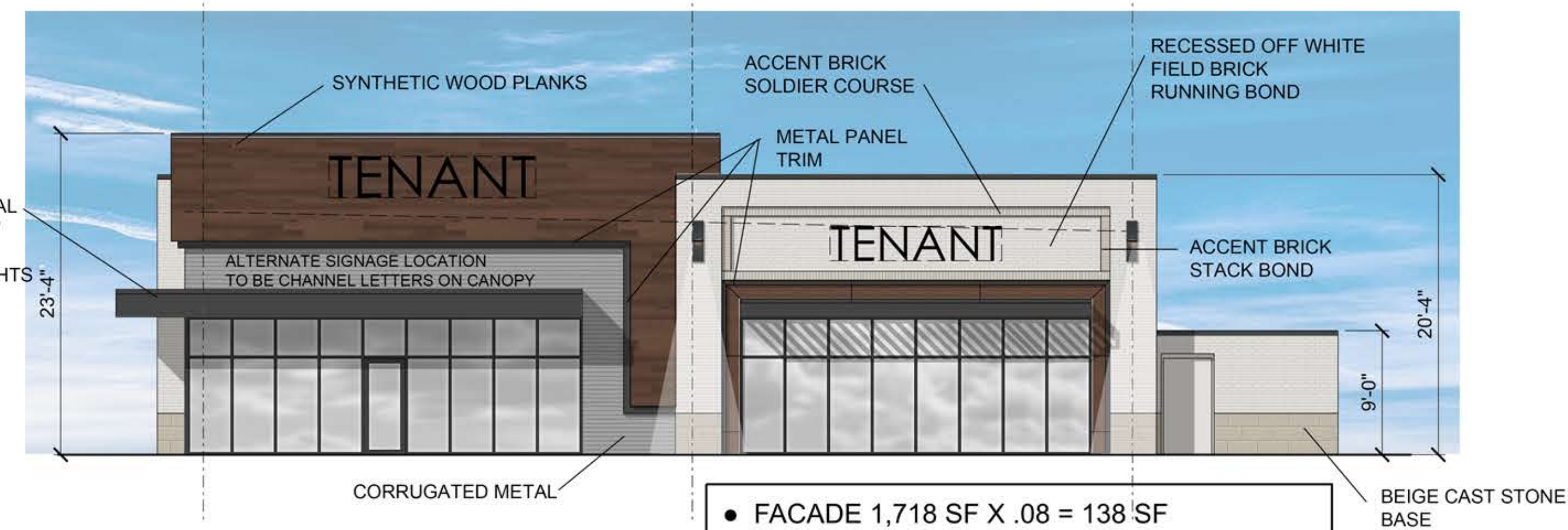
SCALE : 1/8" = 1'-0"



- FACADE 1,718 SF X .08 = 138 SF
- PROPOSED 76 SF OF BUILDING SIGNAGE SPREAD ACROSS 2 SIGNS
- SIGNS MAY BE INTERNALLY LIT, BACK LIT CHANNEL LETTERS, PAINTED, OR ANY COMBINATION THEREOF.
- SIGNS MAY BE BUILDING MOUNTED OR CANOPY MOUNTED

**BUILDING A
EAST ELEVATION**

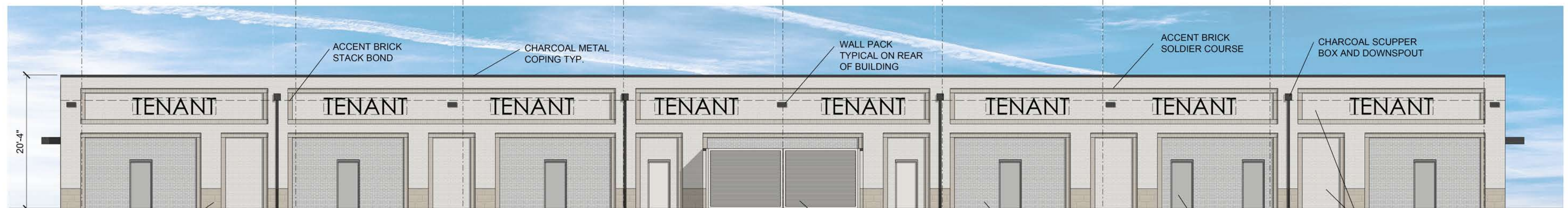
SCALE : 1/8" = 1'-0"



- FACADE 1,718 SF X .08 = 138 SF
- PROPOSED 76 SF OF BUILDING SIGNAGE SPREAD ACROSS 2 SIGNS
- SIGNS MAY BE INTERNALLY LIT, BACK LIT CHANNEL LETTERS, PAINTED, OR ANY COMBINATION THEREOF.
- SIGNS MAY BE BUILDING MOUNTED OR CANOPY MOUNTED

**BUILDING A
WEST ELEVATION**

SCALE : 1/8" = 1'-0"



- FACADE 4,748 SF X .08 = 380 SF
- PROPOSED 248 SF OF BUILDING SIGNAGE SPREAD ACROSS 8 SIGNS
- SIGNS MAY BE INTERNALLY LIT, BACK LIT CHANNEL LETTERS, PAINTED, OR ANY COMBINATION THEREOF
- SIGNS MAY BE BUILDING MOUNTED OR CANOPY MOUNTED

**BUILDING A
SOUTH ELEVATION**

SCALE : 1/8" = 1'-0"

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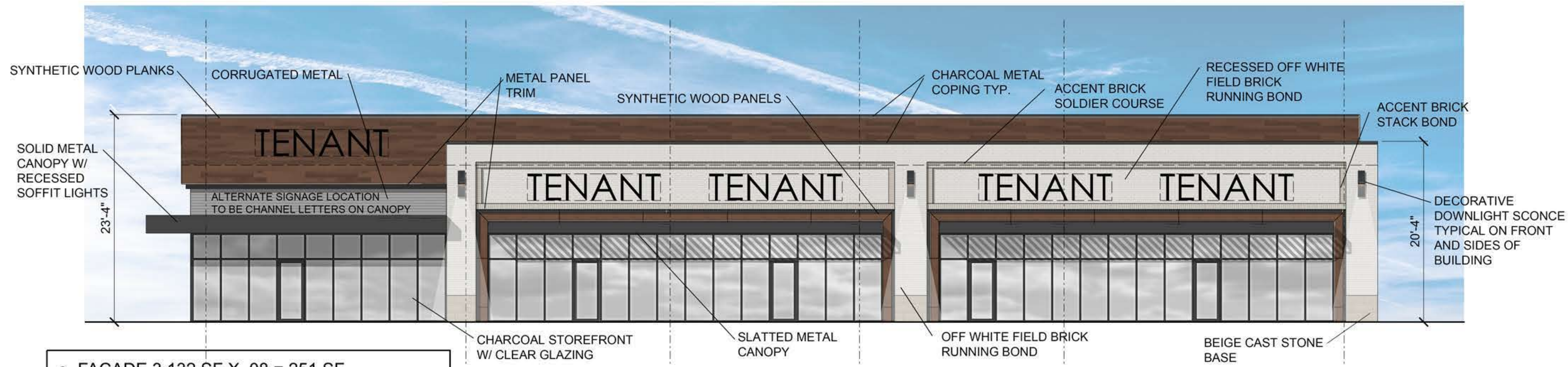
**WEST CHESTER PLAZA
RETAIL BUILDING A**
WEST CHESTER, OHIO

ISSUE DATE
ISSUE DATE 06/09/2023

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PROJ MANAGER: JSW
JOB NO. 9105.01

**BUILDING A
ELEVATIONS**

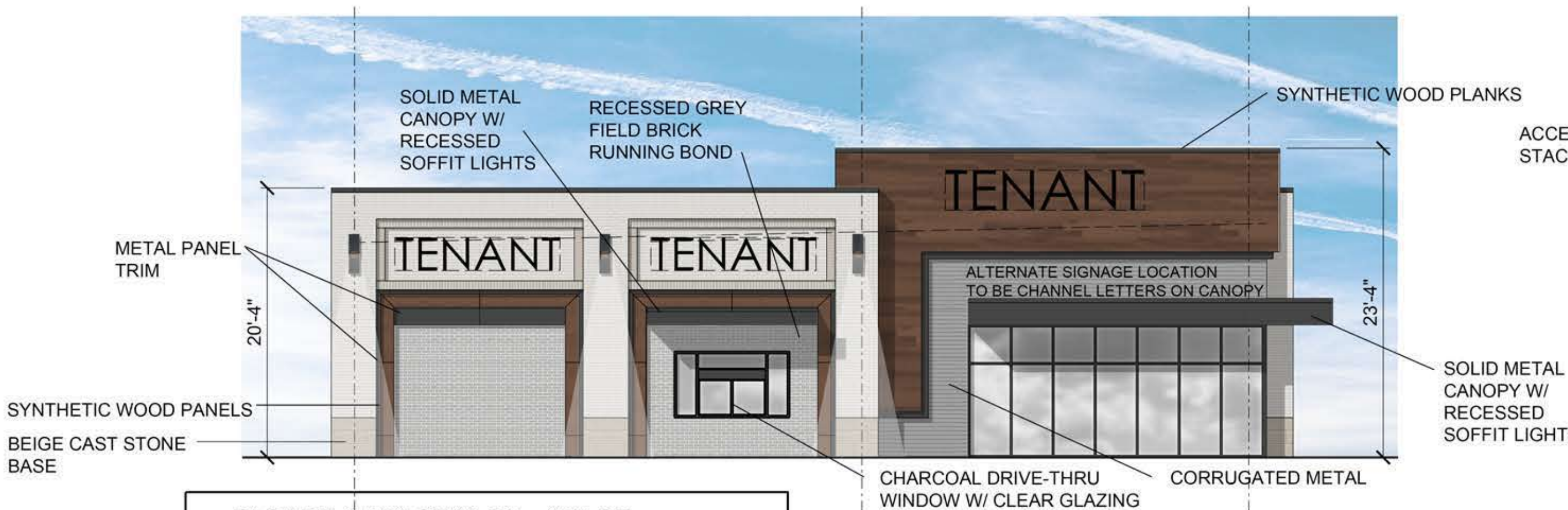
5.01A



- FACADE 3,132 SF X .08 = 251 SF
- PROPOSED 225 SF OF BUILDING SIGNAGE SPREAD ACROSS 5 SIGNS
- SIGNS MAY BE INTERNALLY LIT, BACK LIT CHANNEL LETTERS, PAINTED, OR ANY COMBINATION THEREOF.
- SIGNS MAY BE BUILDING MOUNTED OR CANOPY MOUNTED

**BUILDING B
WEST ELEVATION**

SCALE: 1/8" = 1'-0"



- FACADE 1,581 SF X .08 = 127 SF
- PROPOSED 107 SF OF BUILDING SIGNAGE SPREAD ACROSS 2 SIGNS
- SIGNS MAY BE INTERNALLY LIT, BACK LIT CHANNEL LETTERS, PAINTED, OR ANY COMBINATION THEREOF.
- SIGNS MAY BE BUILDING MOUNTED OR CANOPY MOUNTED

**BUILDING B
NORTH ELEVATION**

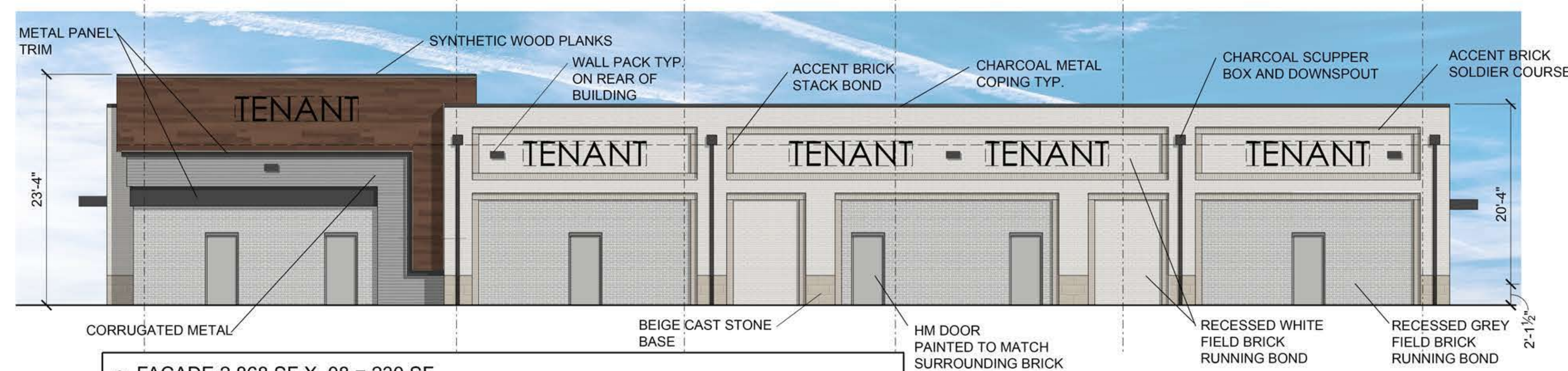
SCALE: 1/8" = 1'-0"



- FACADE 1,683 SF X .08 = 135 SF
- PROPOSED 90 SF OF BUILDING SIGNAGE SPREAD ACROSS 2 SIGNS
- SIGNS MAY BE INTERNALLY LIT, BACK LIT CHANNEL LETTERS, PAINTED, OR ANY COMBINATION THEREOF.
- SIGNS MAY BE BUILDING MOUNTED OR CANOPY MOUNTED

**BUILDING B
SOUTH ELEVATION**

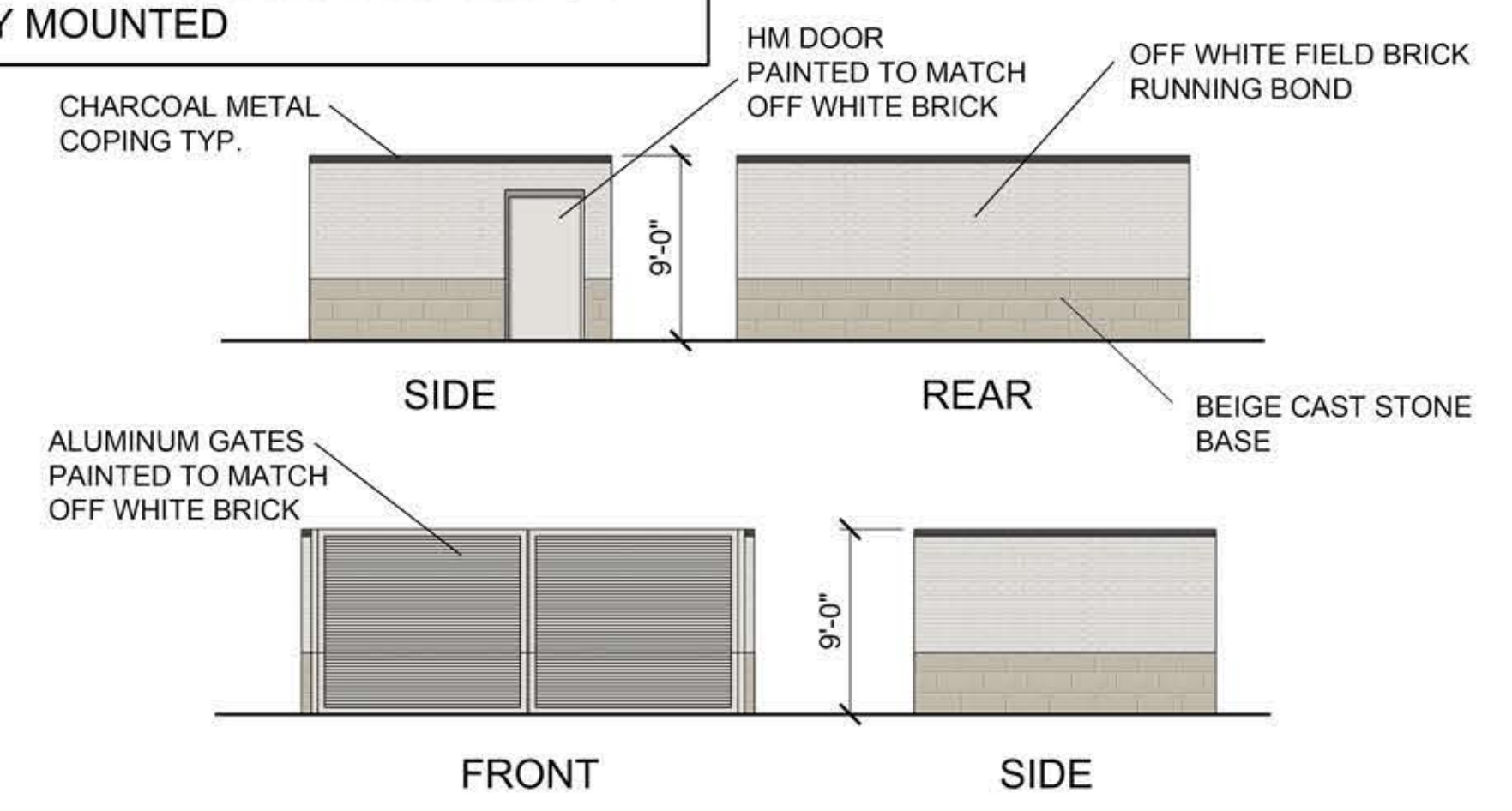
SCALE: 1/8" = 1'-0"



- FACADE 2,868 SF X .08 = 230 SF
- PROPOSED 155 SF OF BUILDING SIGNAGE SPREAD ACROSS 5 SIGNS
- SIGNS MAY BE INTERNALLY LIT, BACK LIT CHANNEL LETTERS, PAINTED, OR ANY COMBINATION THEREOF
- SIGNS MAY BE BUILDING MOUNTED OR CANOPY MOUNTED

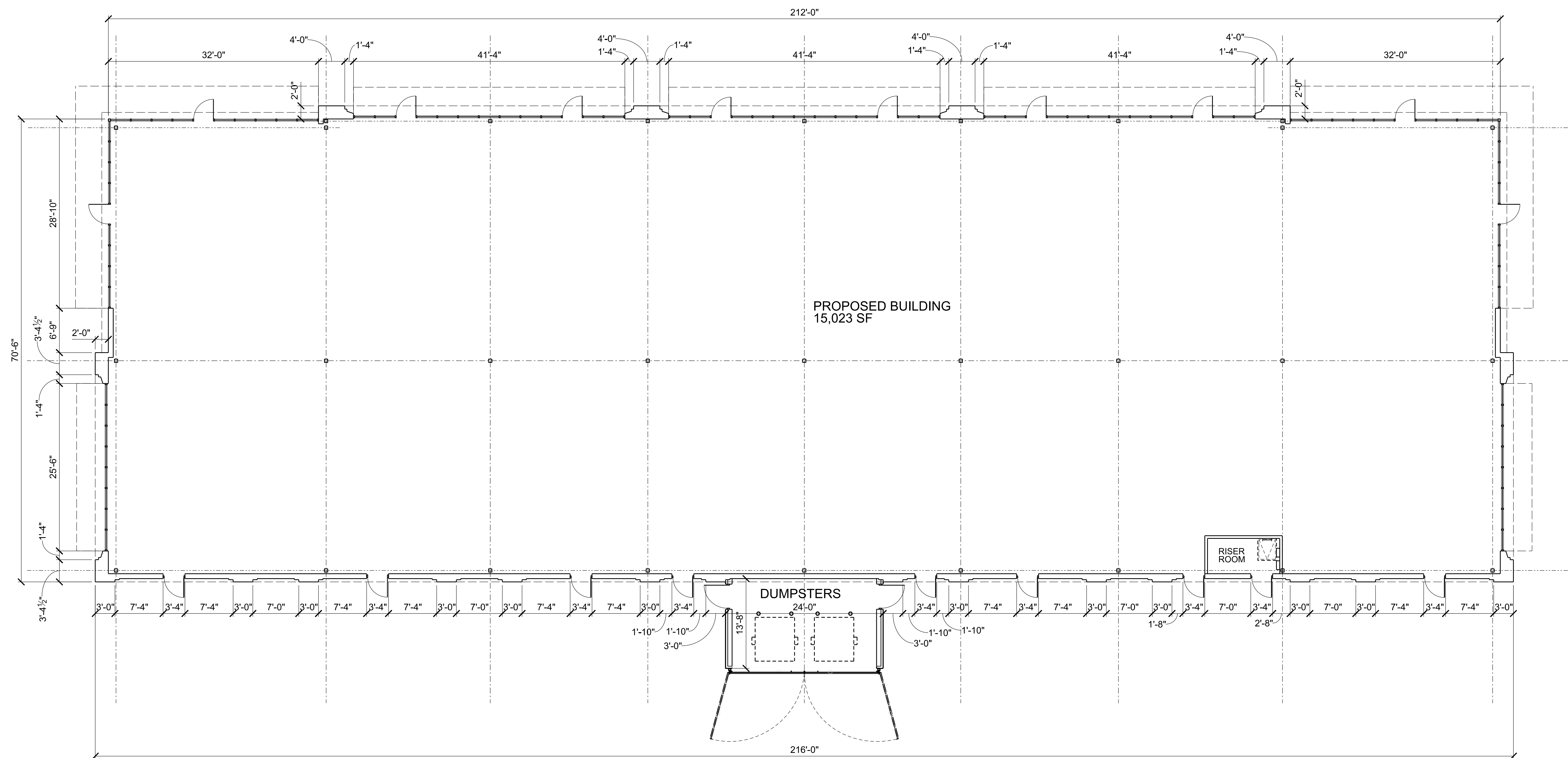
**BUILDING B
EAST ELEVATION**

SCALE: 1/8" = 1'-0"



**DUMPSTER ENCLOSURE
ELEVATIONS**

SCALE: 1/8" = 1'-0"



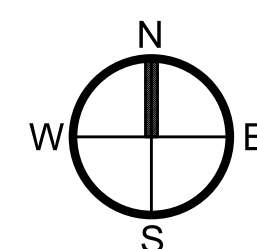
PROPOSED BUILDING
15,023 SF

RISER ROOM

DUMPSTERS

**BUILDING A
FLOOR PLAN**

SCALE: 1/8" = 1'-0"



ALTERNATION AND/OR DUPLICATION OF THIS
SPECIFIC CONSULTING OF THIS PROJECT IS
SCHEDULED FOR PHOENIX ARCHITECTURE, LLC

PHX
PHOENIX ARCHITECTURE
9467 Kenwood Rd
Cincinnati, OH 45242
(513) 745-9200
phoenix-arch.com

**WEST CHESTER PLAZA
RETAIL BUILDING A**
WEST CHESTER, OHIO

ISSUE DATE
ISSUE DATE 06/09/2023

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PROJ MANAGER: JSW
JOB NO. 9105.01

**BUILDING A
FLOOR PLAN
2.01A**

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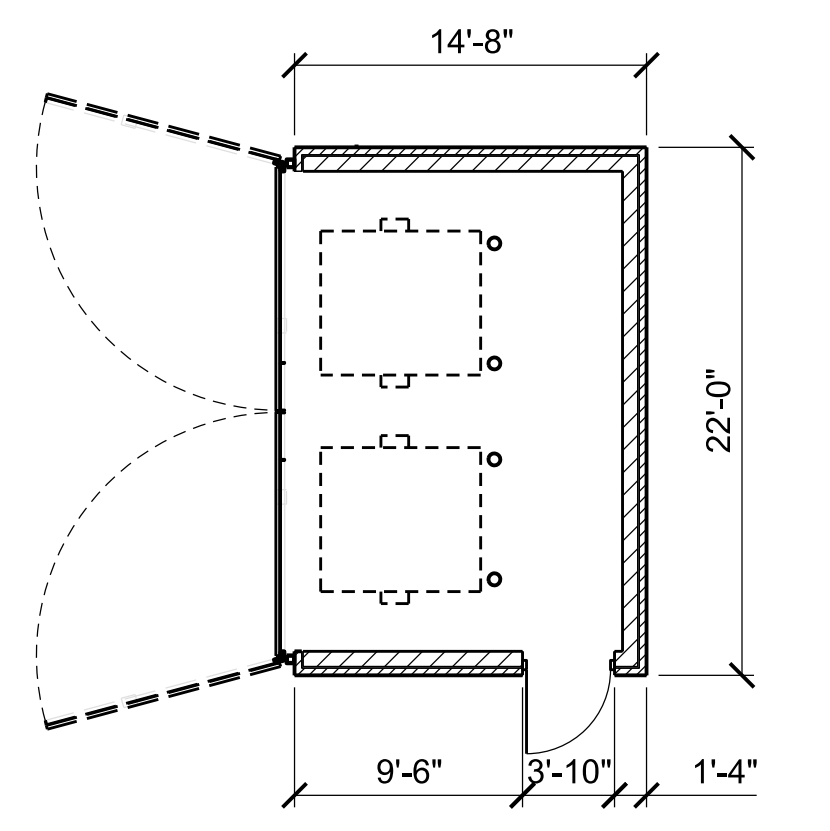
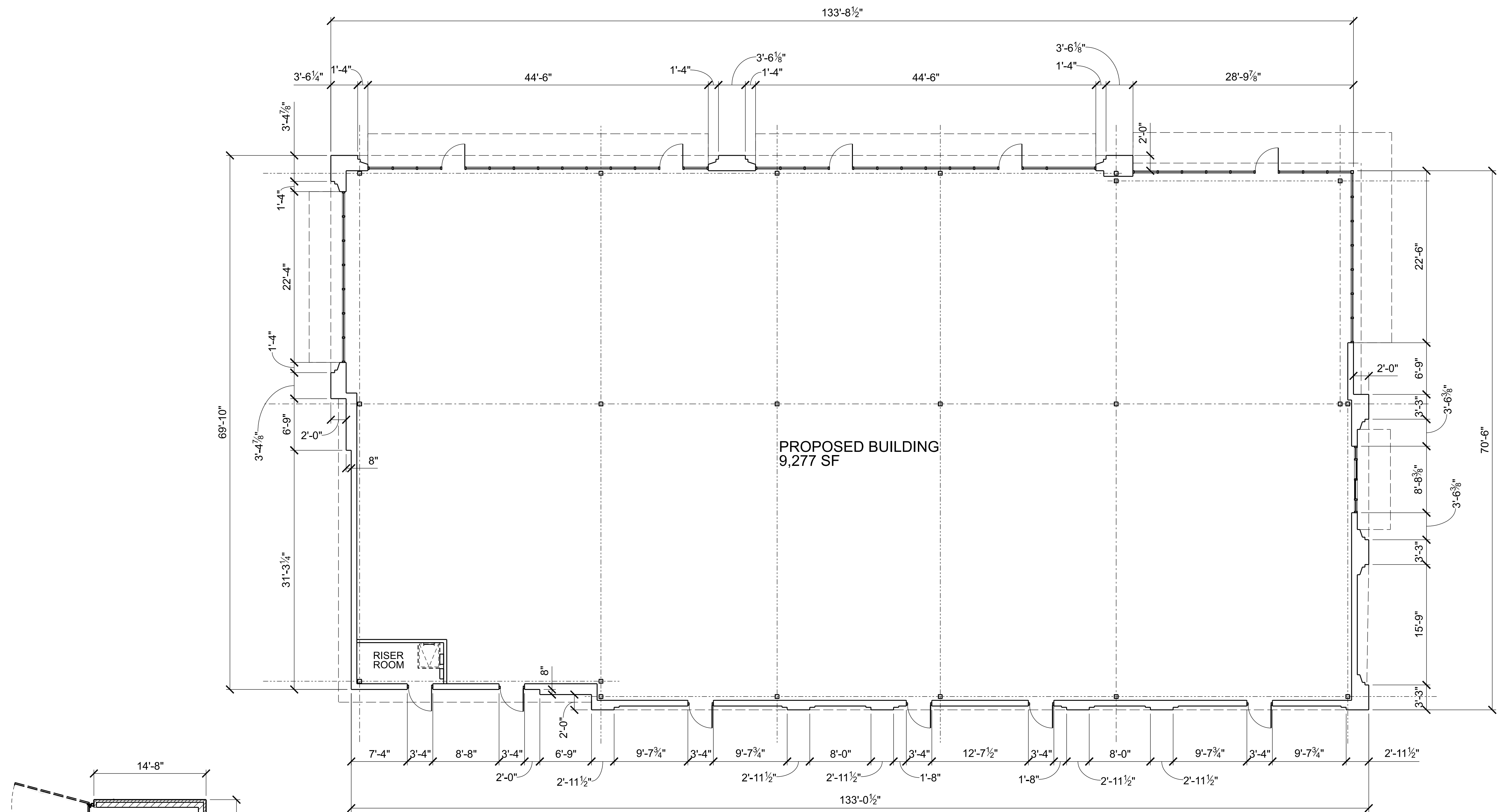


WEST CHESTER PLAZA
 RETAIL BUILDING B
 WEST CHESTER, OHIO

ISSUE DATE
 ISSUE DATE 06/09/2023

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 PROJ. MANAGER: JSW
 JOB NO. 9105.01

BUILDING B
 FLOOR PLAN
 2.01B

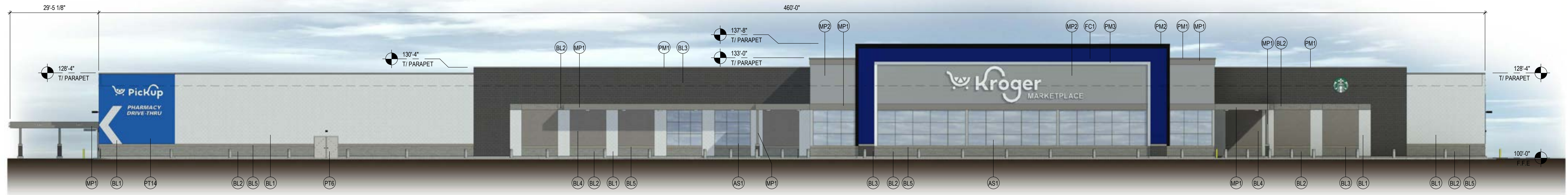


**BUILDING B
 FLOOR PLAN**

SCALE: 1/8" = 1'-0"

DUMPSTER SURROUND

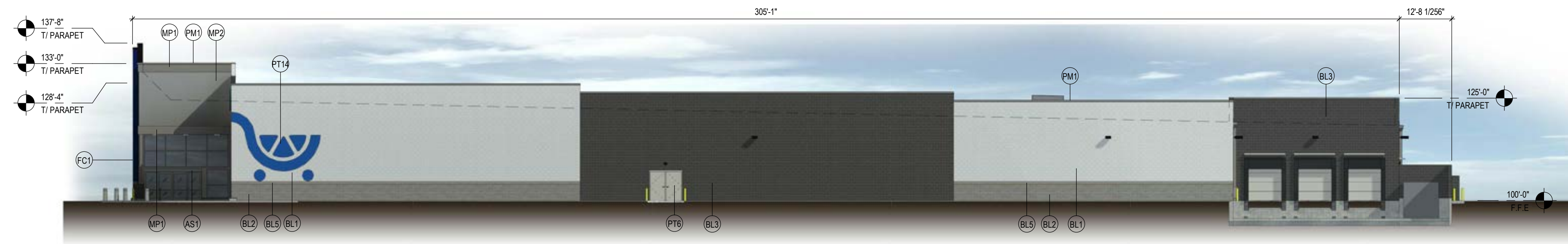
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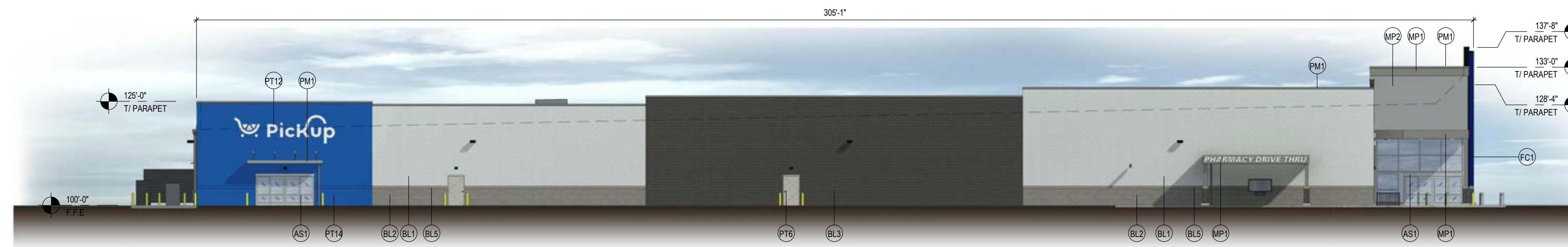
NORTH ELEVATION



SOUTH ELEVATION



WEST ELEVATION



EAST ELEVATION

EXTERIOR MATERIAL LEGEND

- (BL1) Decorative, Integrally Colored CMU - Smooth face
Color: Lee Brick & Block - Aspen Cream
- (BL2) Decorative, Integrally Colored CMU - Split face
Color: Lee Brick & Block - Winter Sea
- (BL3) Decorative, Integrally Colored CMU - Smooth face
Color: Lee Brick & Block - Breckenridge
- (BL4) Decorative, Integrally Colored CMU - Smooth face
Color: Lee Brick & Block - Light Range Buff
- (BL5) Decorative, Integrally Colored CMU - Smooth face
Color: Lee Brick & Block - Ivory
- (MP1) Metal Panel - Smooth
Color: Slate Gray
- (MP2) Metal Panel - Corrugated
Color: Silversmith
- (FC1) Vertical Fiber Cement V-Groove Siding
Color: James Hardie Artisan V-Groove, Paint PT-14
- (PM1) Prefinished Metal
Color: Slate Gray
- (PM2) Prefinished Metal
Color: Matte Black
- (PM3) Prefinished Metal
Color: White
- (AS1) Prefinished Aluminum Storefront
Color: Clear Anodized
- (PT6) Painted Metal
Color: SW7015 "Mindful Gray"
- (PT7) Painted Metal
Color: SW7019 "Gauntlet Gray"
- (PT12) Painted Masonry
Color: White
- (PT14) Painted Metal/Masonry
Color: PMS 2728C "Kroger Blue"



EXTERIOR ELEVATIONS

June 19, 2023

KROGER STORE A975

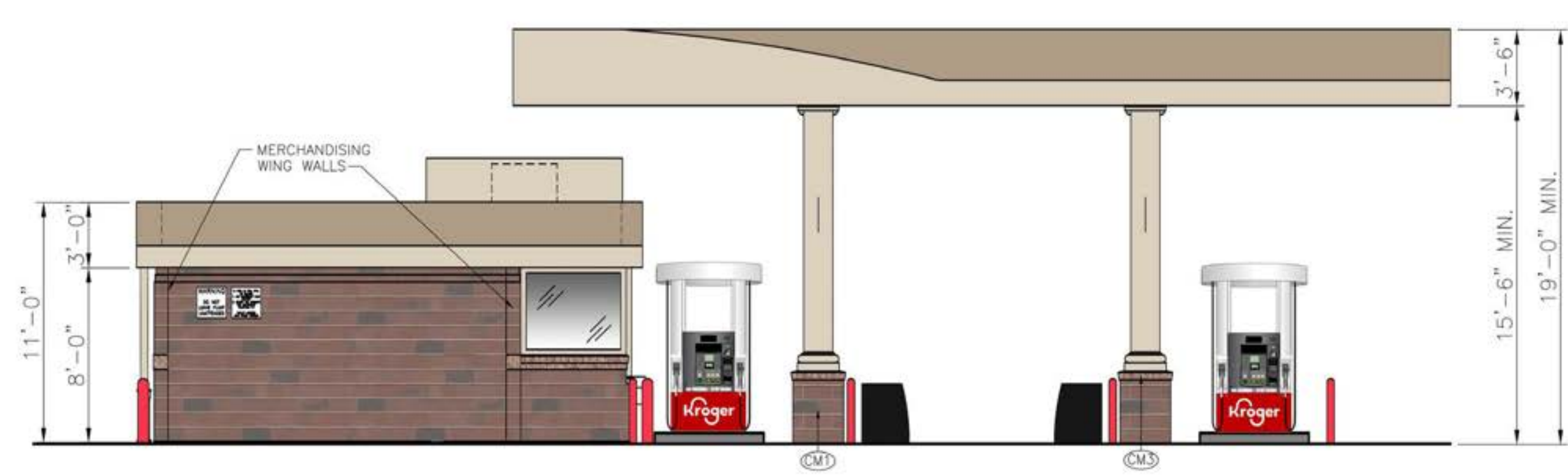
West Chester Twp, OH



522344



1 FRONT (SOUTH) ELEVATION
SCALE: 3/16"=1'-0"

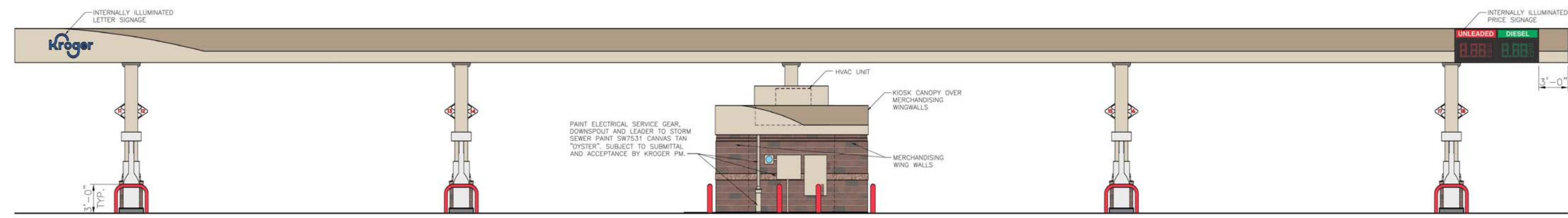


2 LEFT (WEST) ELEVATION
SCALE: 3/16"=1'-0"



3 RIGHT (EAST) ELEVATION
SCALE: 3/16"=1'-0"

FINISH SCHEDULE	
(CM1)	SMOOTH FACE CMU VENEER - MAXBRIC WILLIAMSON BLEND 8"x16"
(CM2)	SPLIT FACE CMU VENEER - NORTHFIELD COFFEE 191 8"x16"
(CM3)	4x4 SMOOTH FACE CMU ROWLOCK ONLY ON SLOPING SILL - NORTHFIELD COFFEE 191, CUT AS REQUIRED
(MR)	MORTAR - TO MATCH MORTAR ON ADJACENT KROGER GROCERY STORE



4 REAR (NORTH) ELEVATION
SCALE: 3/16"=1'-0"

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Supermarket Petroleum Group
Denver, CO 80238
Denver, CO 80238
Fax: (303) 715-5925

The Kroger Co.
Kroger

DATE	DESCRIPTION

Project #: A-975
Date: JUNE, 2023
Scale: FULL
Disk File: KroA975_ELEV
Model: 9(GD) 1RR

Address: 7855 Tylersville Rd
West Chester Township, OH

EXTERIOR ELEVATIONS

Sheet: A2.0

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 Denver, CO 80231
 Fax: (303) 715-5925

The Kroger Co.



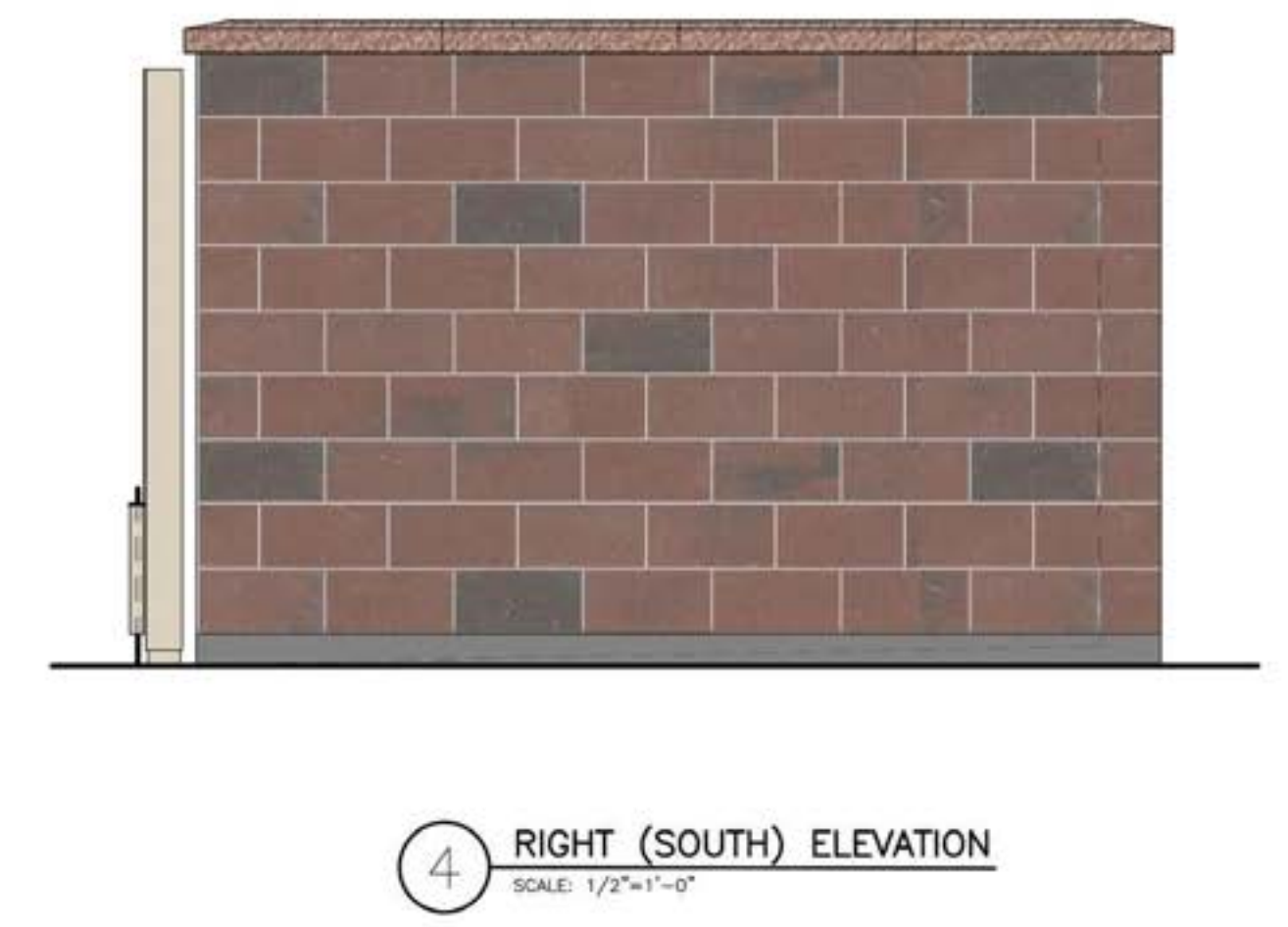
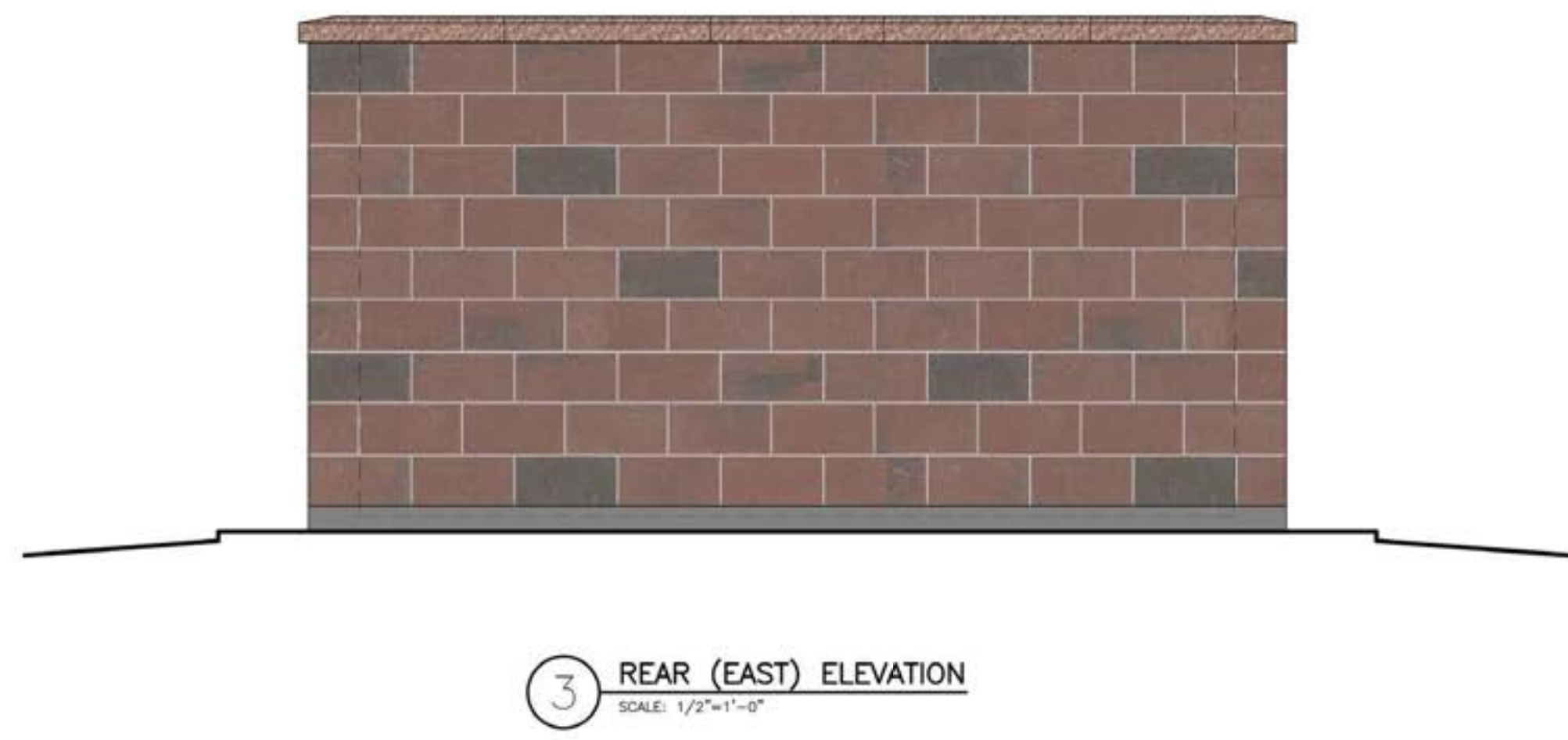
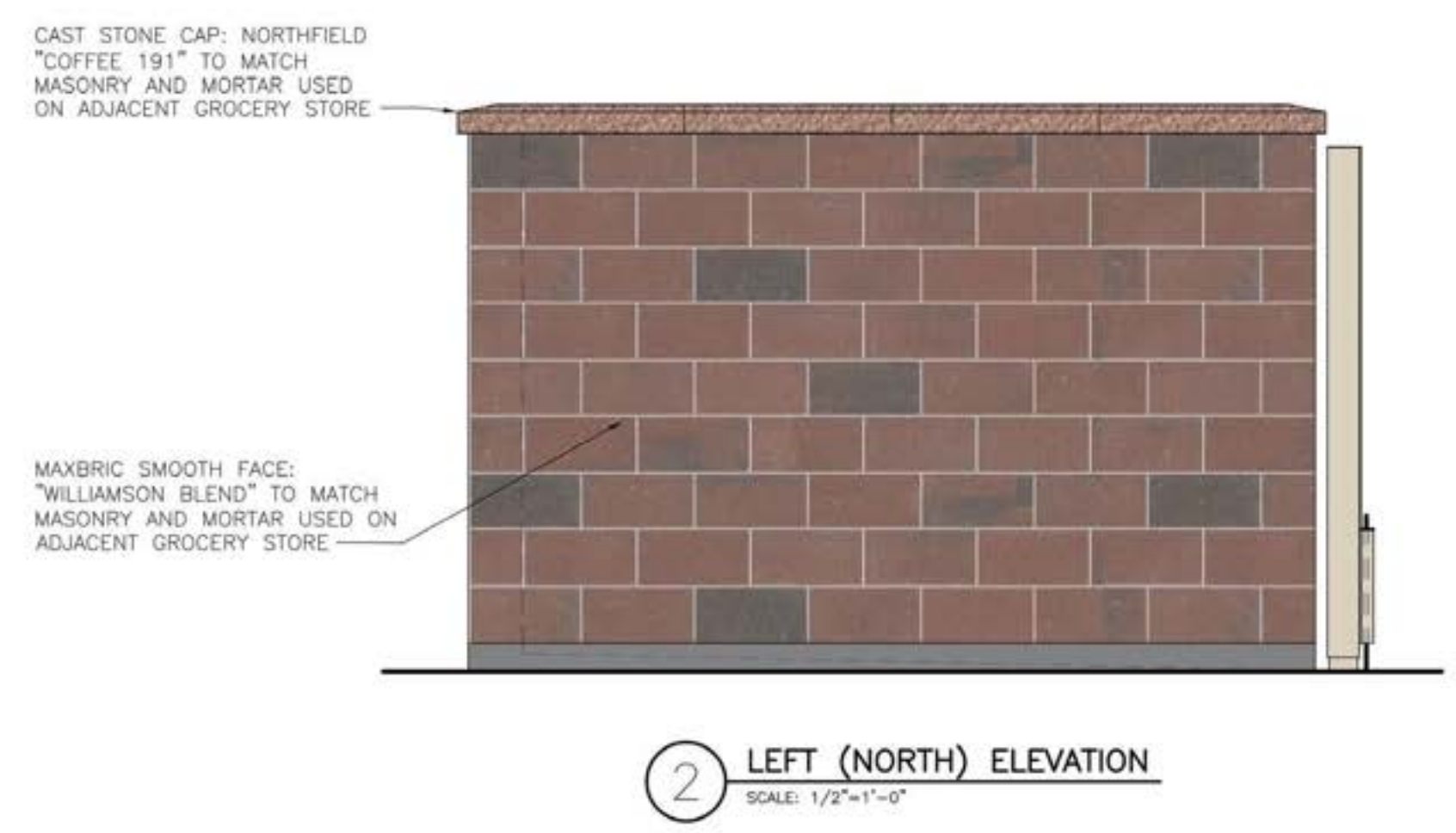
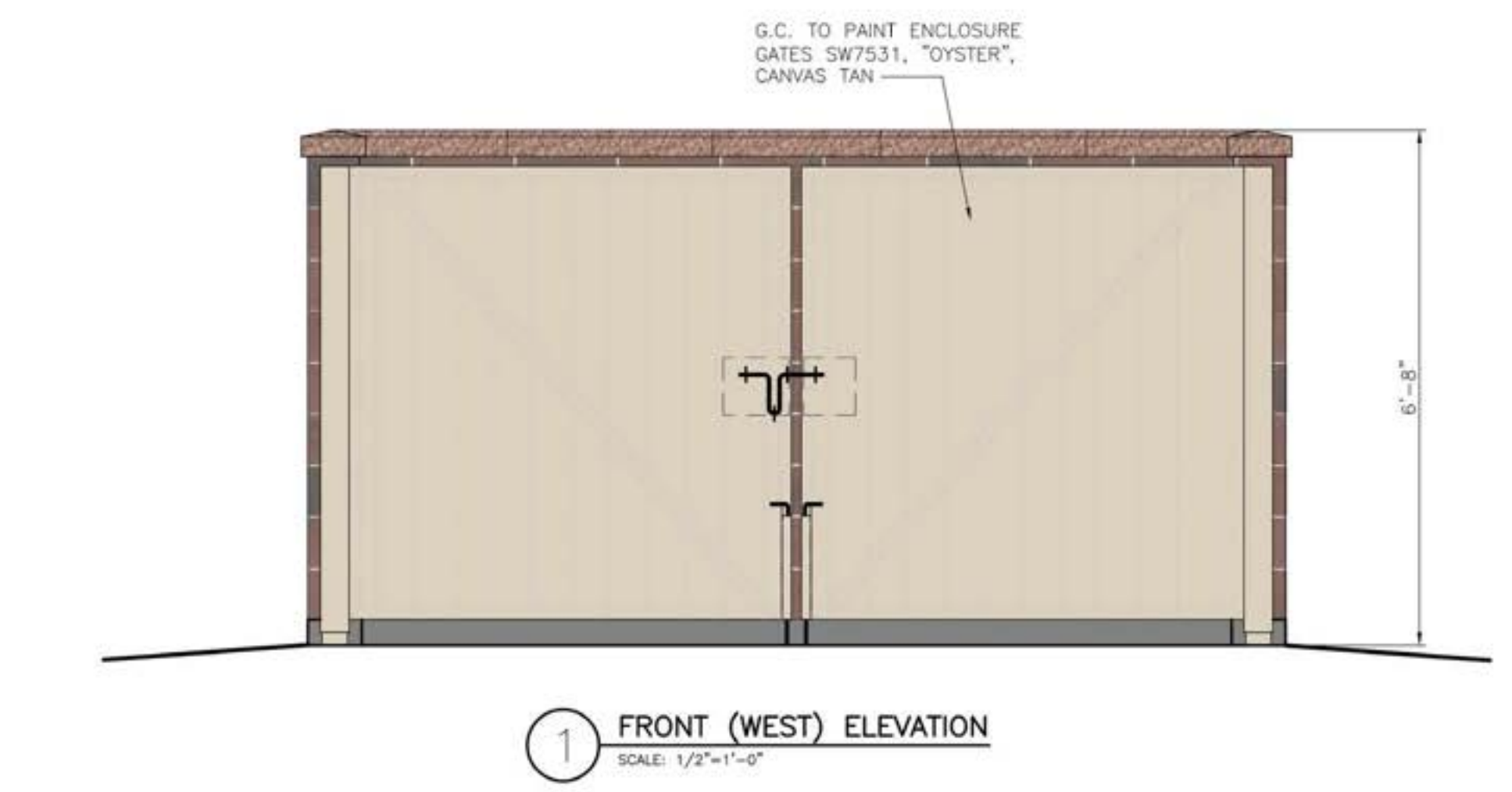
REVISIONS	
No.	DATE

Project #: A-975
 Date: JUNE, 2023
 Scale: FULL
 Disk File: KroA975_ELEV
 Model: 9(GD) 1RR

Address: 7855 Tylersville Rd
 West Chester Township, OH

DUMPSTER ELEVATIONS

Sheet: **A2.1**



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Symbol	Qty	Label	Arrangement	Lum. Watts	Total Watts	Lum. Lumens	LF	Description
[Symbol]	28	FC1	SINGLE	103	2884	15410	1.000	SCV-LED-15L-SC-60
[Symbol]	2	LDD01	SINGLE	176	352	23746	0.865	PRV-XL-C15-D-VOLT-T5-SA-BZ-HSS
[Symbol]	3	LDE01	SINGLE	131	393	15516	0.865	PRV-C40-D-VOLT-T4-SA-BZ-HSS
[Symbol]	5	LDE01	SINGLE	176	880	23676	0.865	PRV-XL-C75-D-VOLT-T4-SA-BZ-HSS
[Symbol]	3	LDD04	4 @ 90 DEGREES	285	3420	44287	0.865	QTY 4 - PRV-XL-C150-D-VOLT-T5-SA-BZ (4@90)
[Symbol]	1	LDD06	3 @ 90 DEGREES	285	855	44287	0.865	QTY 3 - PRV-XL-C150-D-VOLT-T5-SA-BZ (3@90)
[Symbol]	4	LDD01	SINGLE	346	1384	52349	0.865	PRV-XL-C175-D-VOLT-T5-SA-BZ
[Symbol]	10	LDD02	BACK-BACK	346	6920	52349	0.865	QTY 2 - PRV-XL-C175-D-VOLT-T5-SA-BZ (2@180)
[Symbol]	4	LWB1	SINGLE	48.1	196.4	6865	0.865	PRV-P-C15-D-VOLT-T4-BZ
[Symbol]	4	LWB2	SINGLE	94.1	376.4	11774	0.865	PRV-P-C25-D-VOLT-T4-BZ
[Symbol]	6	LWC1	SINGLE	48.1	284.6	6717	0.865	PRV-P-C15-D-VOLT-T2-BZ

Project manager to specify fixture voltage for each fixture type

Total Watts = 17955.39

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPhi@Grade	Illuminance	Fc	0.94	21.0	0.0	N.A.	N.A.
FUEL CANOPY	Illuminance	Fc	42.90	55.7	19.9	2.16	2.80
Proposed PL Along Residential	Illuminance	Fc	0.01	0.02	0.00	N.A.	N.A.
CLICK LIST	Illuminance	Fc	2.32	3.2	1.9	1.22	1.68
ENTRANCE	Illuminance	Fc	3.53	4.7	1.3	2.72	3.62
ENTRANCE & ACCESS ROAD	Illuminance	Fc	2.75	4.1	1.7	1.62	2.41
FRONT DRIVE	Illuminance	Fc	4.17	6.0	3.0	1.39	1.67
FUEL PARKING	Illuminance	Fc	2.75	3.6	2.0	1.38	1.80
MAIN PARKING	Illuminance	Fc	3.32	5.4	2.1	1.58	2.57
RETAIL PARKING	Illuminance	Fc	3.05	4.5	2.0	1.53	2.25
SIDE PARKING	Illuminance	Fc	3.01	5.6	1.4	2.15	4.00

LumNo	Label	X	Y	Z	Orient	Tilt
1	LDD01	480	1497.75	41.5	355	0
2	LDD02	608.75	1479.25	41.5	85.855	0
3	LDD06	374.25	1423.75	41.5	265	0
4	LDE01	177	1402.75	41.5	355	0
5	LDD01	470.25	1386.75	41.5	355	0
6	LDD02	598.5	1360.25	41.5	264	0
7	FC1	234	1328	15	355	0
8	FC1	250	1326	15	355	0
9	FC1	268	1324.5	15	355	0
10	FC1	284	1322.5	15	355	0
11	FC1	335.5	1317.75	15	355	0
12	FC1	351.5	1315.75	15	355	0
13	FC1	372	1314	15	355	0
14	FC1	389.25	1314	15	355	0
15	FC1	248	1312	15	355	0
16	FC1	385.25	1312	15	355	0
17	FC1	266	1310.5	15	355	0
18	FC1	282	1308.5	15	355	0
19	FC1	299.75	1307	15	355	0
20	FC1	315.75	1305	15	355	0
21	FC1	333.5	1303.75	15	355	0
22	FC1	349.5	1301.75	15	355	0
23	FC1	367.25	1300	15	355	0
24	FC1	230	1299	15	355	0
25	FC1	383.25	1298	15	355	0
26	LDD02	755.25	1297.75	41.5	264	0
27	FC1	246	1297	15	355	0
28	FC1	264	1295.5	15	355	0
29	FC1	280	1293.5	15	355	0
30	FC1	297.75	1292	15	355	0
31	FC1	313.75	1290	15	355	0
32	FC1	331.5	1288.75	15	355	0
33	FC1	347.5	1286.75	15	355	0
34	FC1	365.25	1285	15	355	0
35	FC1	382.25	1283	15	355	0
36	LDD02	237	1202.5	41.5	355	0
37	LDD02	426	1183	41.5	355	0
38	LDD02	620	1164	41.5	355	0
39	LDD01	745.5	1152	41.5	264	0
40	LDD02	224	1077	41.5	355	0
41	LDD02	413	1053	41.5	355	0
42	LDD02	608	1038.25	41.5	355	0
43	LDD01	741.75	1029	41.5	175	0
44	LDD04	217	900	41.5	264.806	0
45	LDD04	393	859	41.5	265.236	0
46	LDD02	718	841	41.5	174.155	0
47	LDD04	586	840	41.5	265.236	0
48	LDE01	128	815.5	32.5	356.634	0
49	LWB2	202.25	793.25	15	175.892	0
50	LWB1	658	748	15	352	0
51	LWB2	195.5	728	15	175.892	0
52	LDE01	119.25	721	32.5	356.634	0
53	LDE01	753.75	693.25	41.5	174.333	0
54	LWB1	649.75	681	15	352	0
55	LWB2	188	655.5	15	175.892	0
56	LDE01	109	635.5	32.5	356.634	0
57	LWB1	643	611.75	15	352	0
58	LWB2	181.5	587.75	15	175.892	0
59	LDE01	740.5	577	32.5	174.333	0
60	LWC1	200.75	567	15	264	0
61	LWC1	278.25	559.5	15	264	0
62	LWC1	362.5	550.25	15	264	0
63	LWB1	635	540.75	15	352	0
64	LWC1	419.75	504.75	15	264	0
65	LWC1	494.75	497.25	15	264	0
66	LDD01	124.25	492.75	32.5	85.601	0
67	LWC1	571.75	488.25	15	264	0
68	LDE01	661.25	485.5	32.5	84	0
69	LDD01	287.5	475.5	32.5	85.601	0
70	LDE01	169.25	3321.25	41.5	355	0

COOPER
Lighting Solutions
Applications Engineering
1121 Highway 74 South
Peachtree City, GA 30289
tel no: 770-486-45xx
fax no: 770-486-4599
e-mail: mtk-lightingapplications@cooperlighting.com

COOPER
Lighting Solutions

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Project Name:
Kroger 014 A975
West Chester, OH

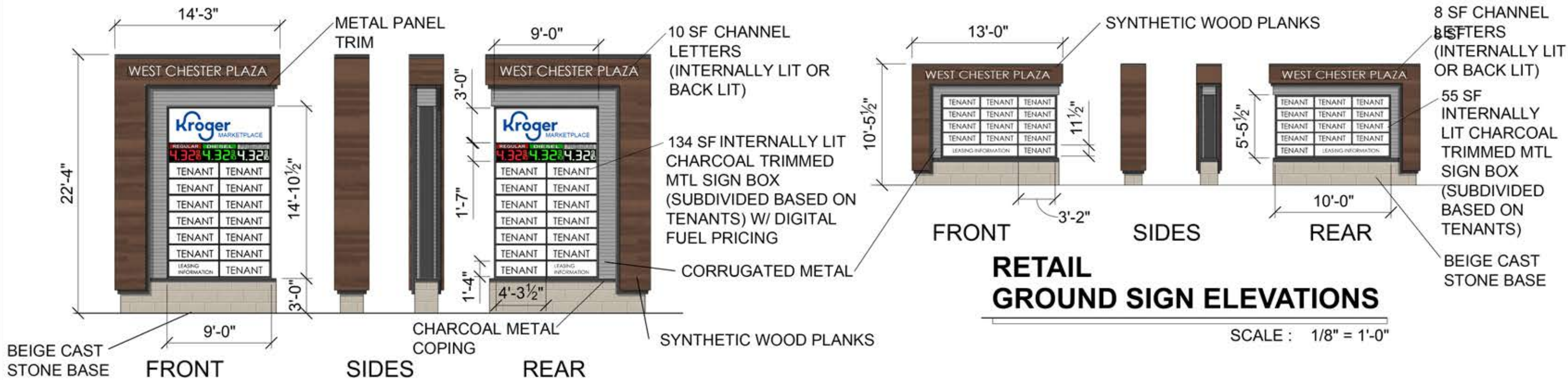
Client:
The Kroger Co.
Lynn Howitz

Drawn By:
EL

Date:
6/20/2023

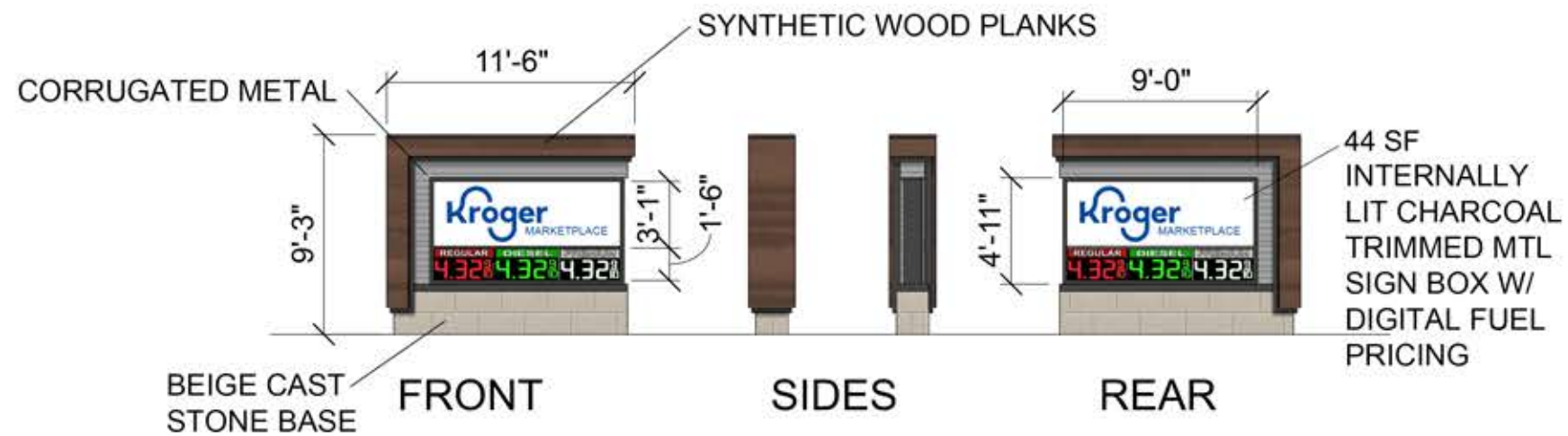
Scale:
1" = 80'

Project No:
2300761A.AGI



PYLON SIGN ELEVATIONS

SCALE: 1/8" = 1'-0"



**WEST CHESTER PLAZA
SIGNAGE EXHIBIT**

WEST CHESTER, OHIO

PHX
PHOENIX ARCHITECTURE

9467 Kenwood Rd
Cincinnati, Ohio 45242
(513) 745-9209
phoenix-arch.com

ISSUE DATE

ISSUE DATE 05/21/2023

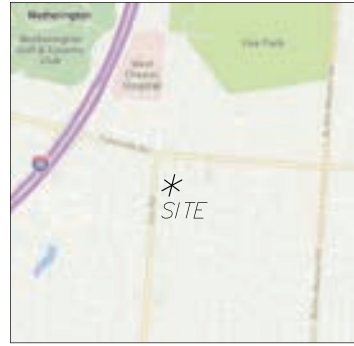
COPYRIGHT:
PHOENIX ARCHITECTURE, LLC
PROJ. MANAGER: JSW
JOB NO. 9195.01

SIGNAGE
ELEVATIONS

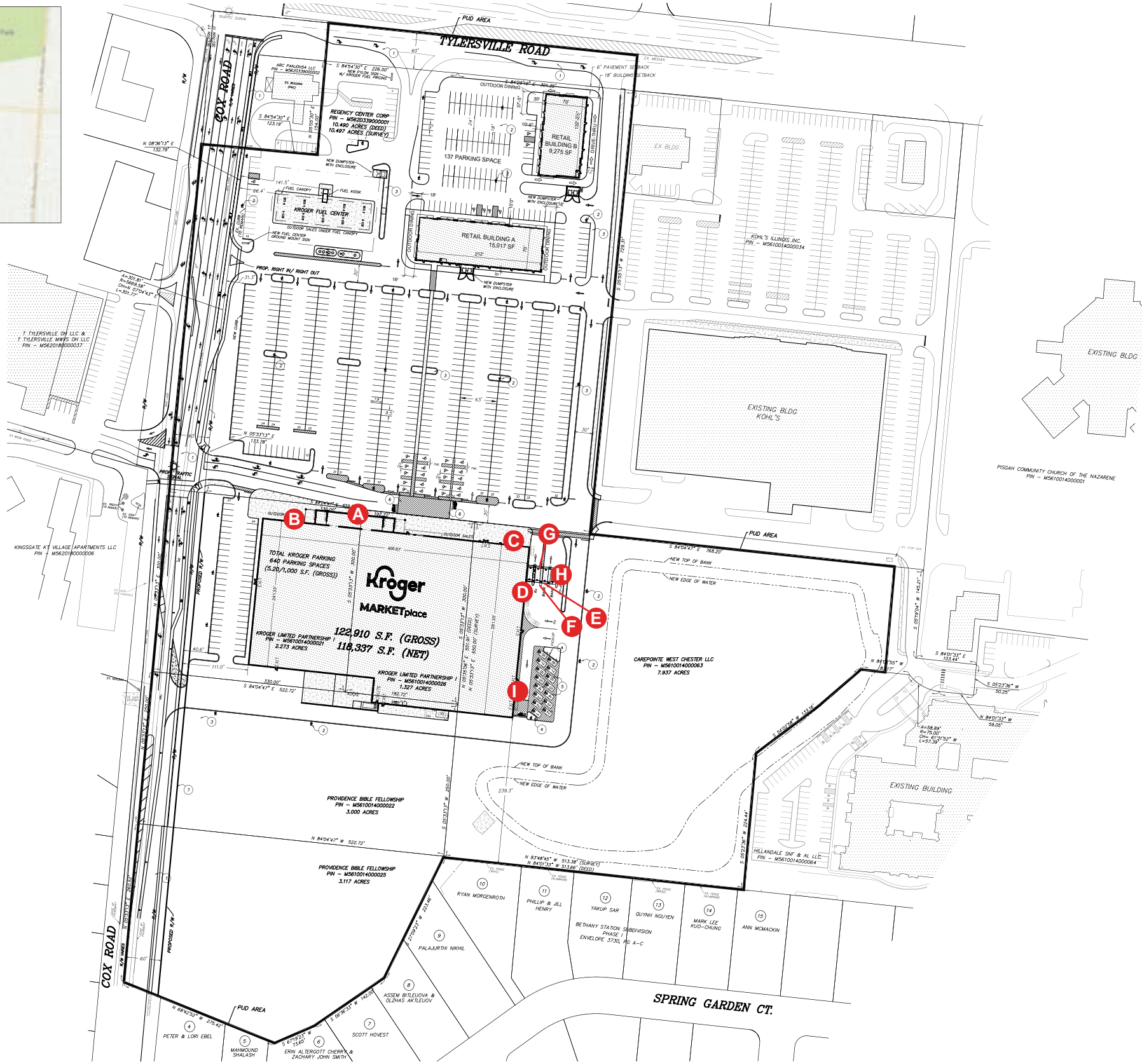
5.02



KROGER #975
Tylersville Rd.
West Chester, OH 45069
1140762233.00 06.13.2023



VICINITY MAP
N.T.S.



	QTY.	DESCRIPTION	SQ. FT.
A	1	KROGER LETTER SET W/ CART	555
B	1	STARBUCKS SIGN	25
C	1	PICKUP W/ CART & PDT LETTER SET	95.4
D	1	CLEARANCE BAR	
E	1	LED OPEN/CLOSED SIGN	
F	1	ENTER LETTER SET	3.9
G	1	EXIT LETTER SET	2.75
H	1	CANOPY PHARMACY DRIVE THRU LETTER SET	29.3
I	1	PICKUP W/ CART LETTER SET	63.1

KROGER #975
Tylersville Rd.
West Chester, OH 45069



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Rev. #3	_____	_____	Rev. #6	_____	_____



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1140762233.00

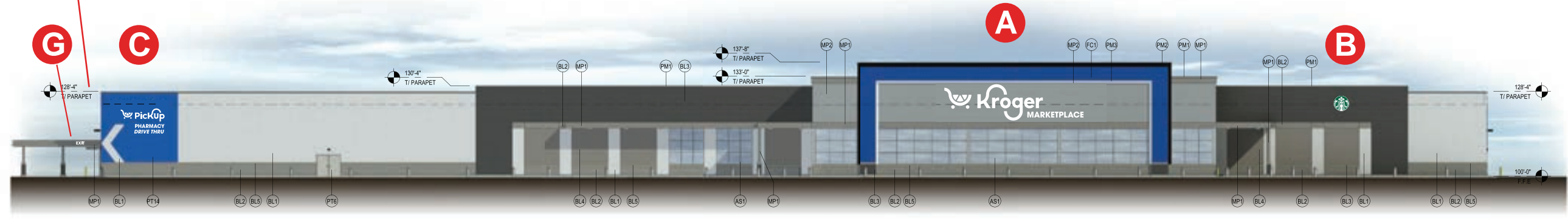
DATE 06.13.2023

J. Allington

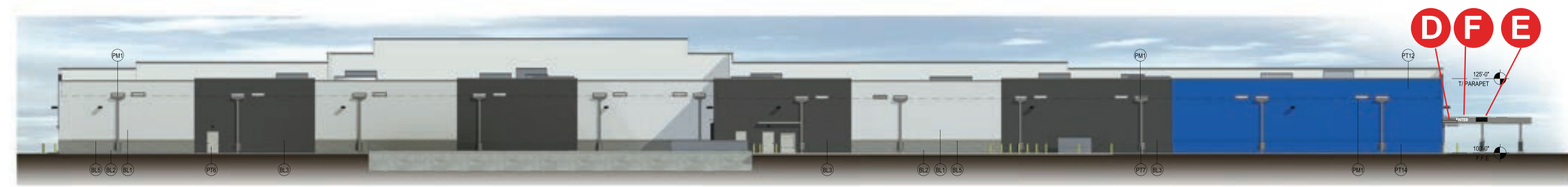
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NOTE: ARTWORK IS FOR REPRESENTATIONAL PURPOSES ONLY. A SURVEY IS NEEDED TO CONFIRM ADEQUATE SPACE FOR PROPOSED SIGNAGE.

WALL & ARROW PAINTED BY OTHERS



NORTH ELEVATION



SOUTH ELEVATION

MURAL PAINTED BY OTHERS



WEST ELEVATION

WALL PAINTED BY OTHERS



EAST ELEVATION

KROGER #975
 Tylersville Rd.
 West Chester, OH 45069



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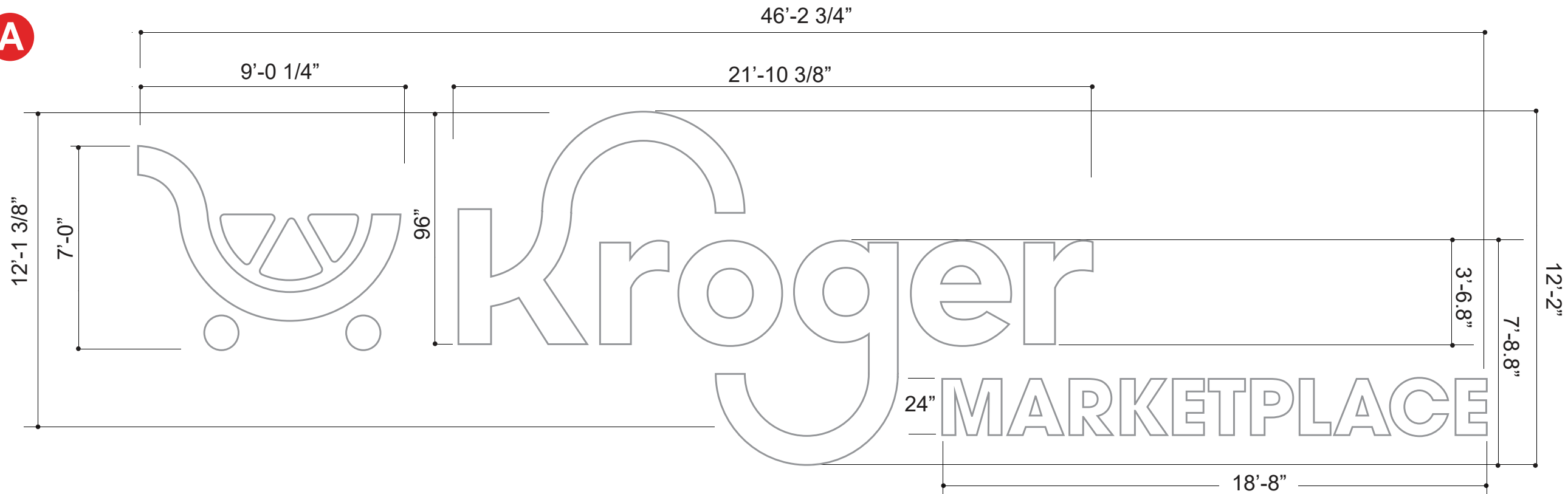
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Rev. #1	_____	_____	Rev. #4	_____	_____
Rev. #2	_____	_____	Rev. #5	_____	_____
Rev. #3	_____	_____	Rev. #6	_____	_____

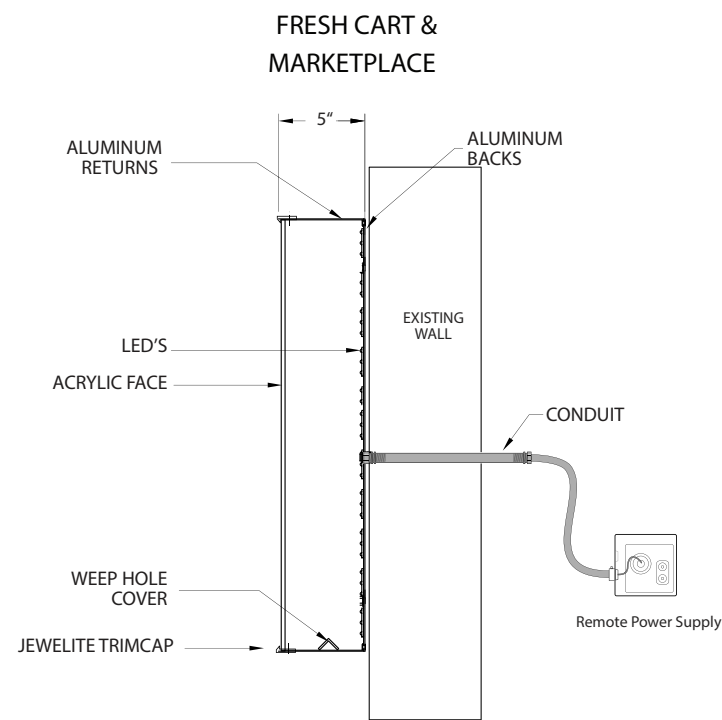


DRAWING NO:
 1140762233.00
 DATE 06.13.2023
 J. Allington

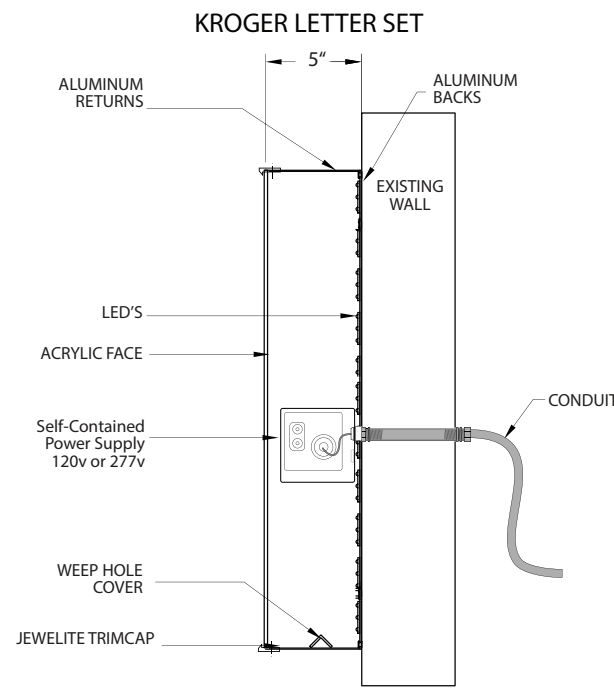
A



-  WHITE ACRYLIC
-  RETAINER: WHITE
-  FILLER: WHITE



LED CL CROSS SECTION
SCALE: NTS (REFERENCE ONLY)
EQUIPMENT GROUNDED



LED CL CROSS SECTION
SCALE: NTS (REFERENCE ONLY)
EQUIPMENT GROUNDED

***MOUNTING CLIPS AS NEEDED
BY SEPARATE ORDER
BASED ON SURVEY OR
BUILDING SPECS**

555.0 SQ. FT.

scale: 1/4" = 1'-0"



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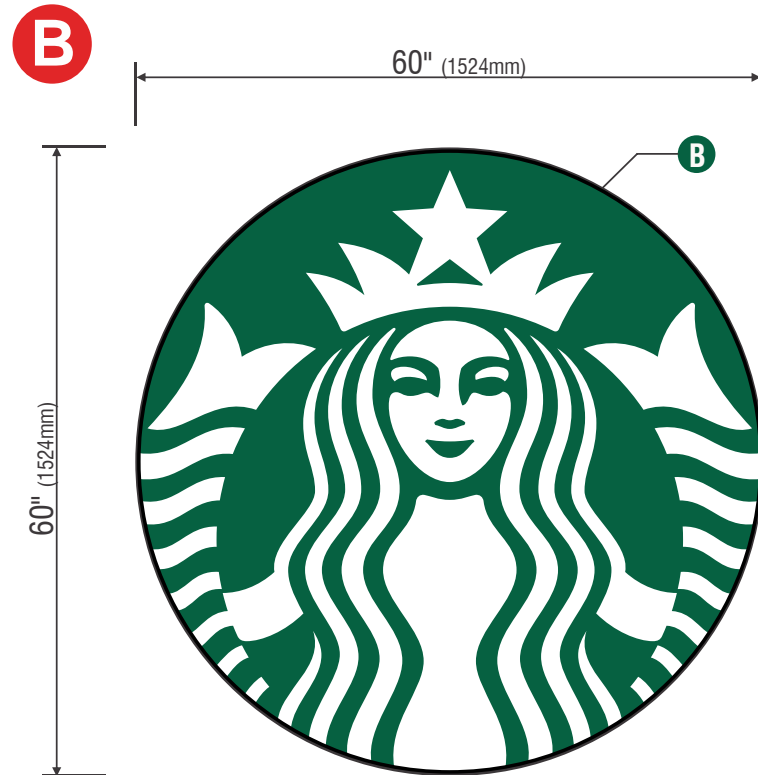
	DATE	BY	DATE	BY
Rev. #1	3.18.2022	S.H.	Rev. #4	_____
Rev. #2	3.31.2022	S.H.	Rev. #5	_____
Rev. #3	_____	_____	Rev. #6	_____



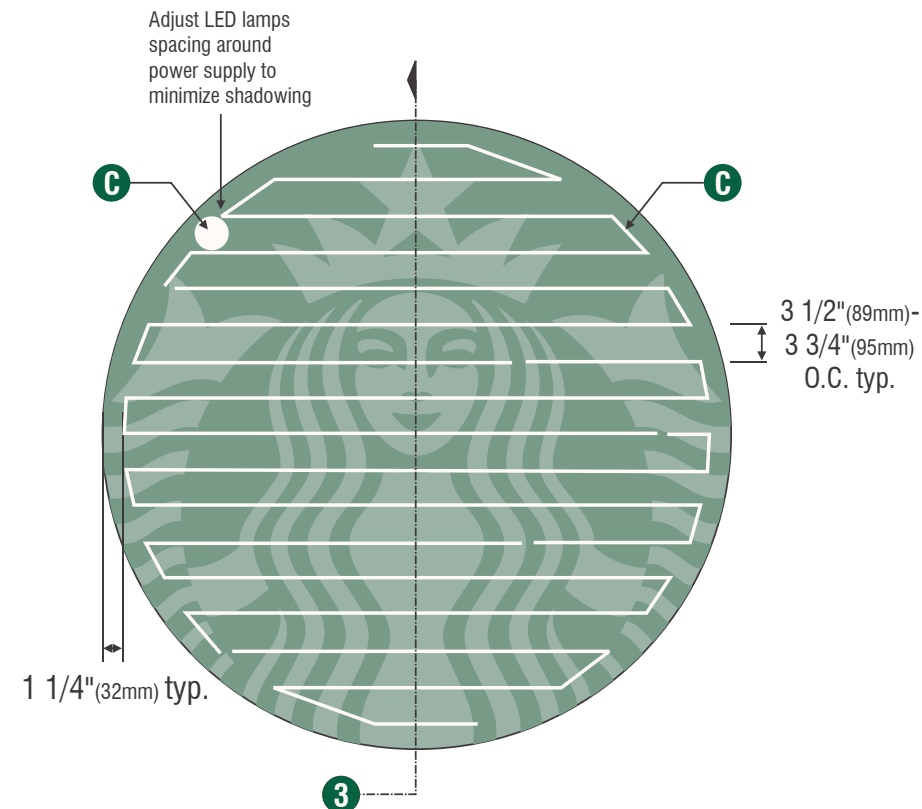
DRAWING NO:
811072182.01A2

DATE: 2.24.2022
S. Hawke

PROVIDED BY OTHERS - PERMITTED & INSTALLED BY CUMMINGS



1 Front View
Scale: 1/2" = 1'-0"

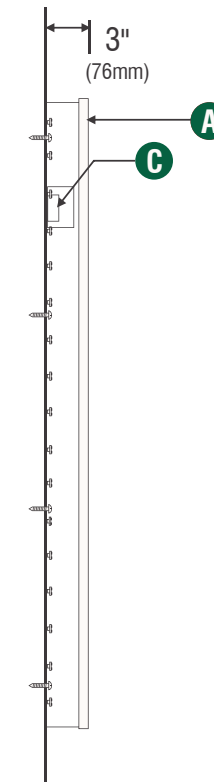


2 LED Detail
Scale: 1/2" = 1'-0"

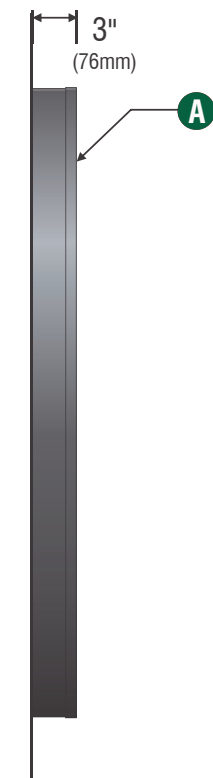
LED's Provided By:
LUMificient
A Heaux Lighting Company

SPECIFICATIONS:

- A** 60" (1524mm) Single faced internally illuminated wall mount logo disk. Cabinet to be 3" (76mm) deep, fabricated aluminum sidewalls and back. Paint cabinet black polyurethane. Faces to be 3/16" (5mm) Acrylite 015-2GP. 1" (25mm) black trimcap with square head screws retainer edging.
- B** Graphics of logo to be 1st surface 3M Translucent Scotchcal vinyl- Holly Green #3630-76. Siren to show thru White.
- C** Internally illuminate logo disk with white LED's installed to back of disk. Power with self-contained multi-volt power supply contained with an U.L. enclosure covered in white vinyl film. Fasten to wall with required fasteners.



3 Section View
Scale: 1/2" = 1'-0"



4 Side View
Scale: 1/2" = 1'-0"



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CONCEPTUAL DRAWING - FOR PRESENTATION PURPOSES ONLY. NOT FOR USE IN MFG. OR FOR FINAL CUSTOMER APPROVAL

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Rev. #2	_____	_____	Rev. #5	_____	_____
Rev. #3	_____	_____	Rev. #6	_____	_____



STARBUCKS COFFEE

DRAWING NO:
84559
DATE 7-21-2016
S. Hawke



- FOR USE ON CMU BLOCK OR EIFS SUBSTRATE.
- NOT INTENDED FOR USE ON NEW OR EXISTING BRICK FINISHES WITHOUT EXPRESS APPROVAL FROM G.O. PLANNING AND DESIGN.

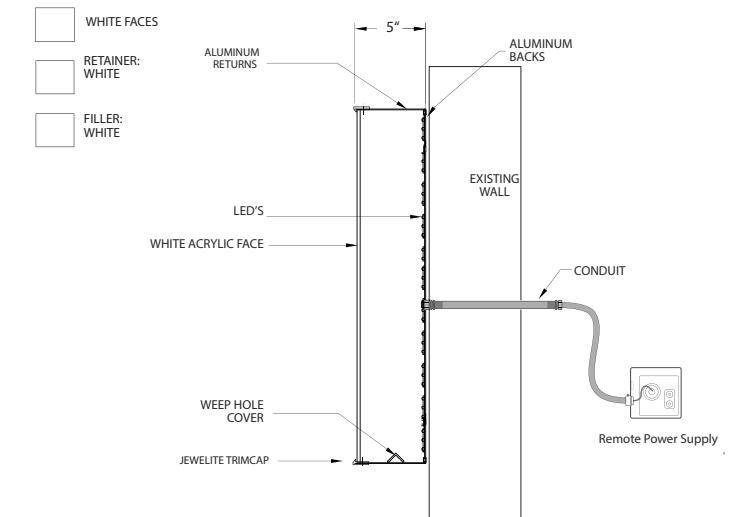
WALL PAINTED TO MATCH KROGER BLUE VINYL -



NOTE:
PAINTING IS NOT PART OF THE SIGNAGE SCOPE - PAINTING IS THE RESPONSIBILITY OF G.C.

SCALE: 1/2" = 1'-0"

- **INTERNALLY ILLUMINATED CHANNEL LETTERS.** ALUMINUM SIDES & BACK PAINTED WHITE. WHITE TRIMCAP RETAINER. FLAT, WHITE POLYCARBONATE FACE. WHITE LED ILLUMINATION.



TYPICAL PAINTED AREA:
PICKUP SIDE ENTRY - FRONT FACADE
BANNER COLOR PAINTED BACKGROUND WITH STENCILED DIRECTIONAL ARROW WHITE. WHITE ILLUMINATED CHANNEL LETTERS.

95.4 SQ. FT.



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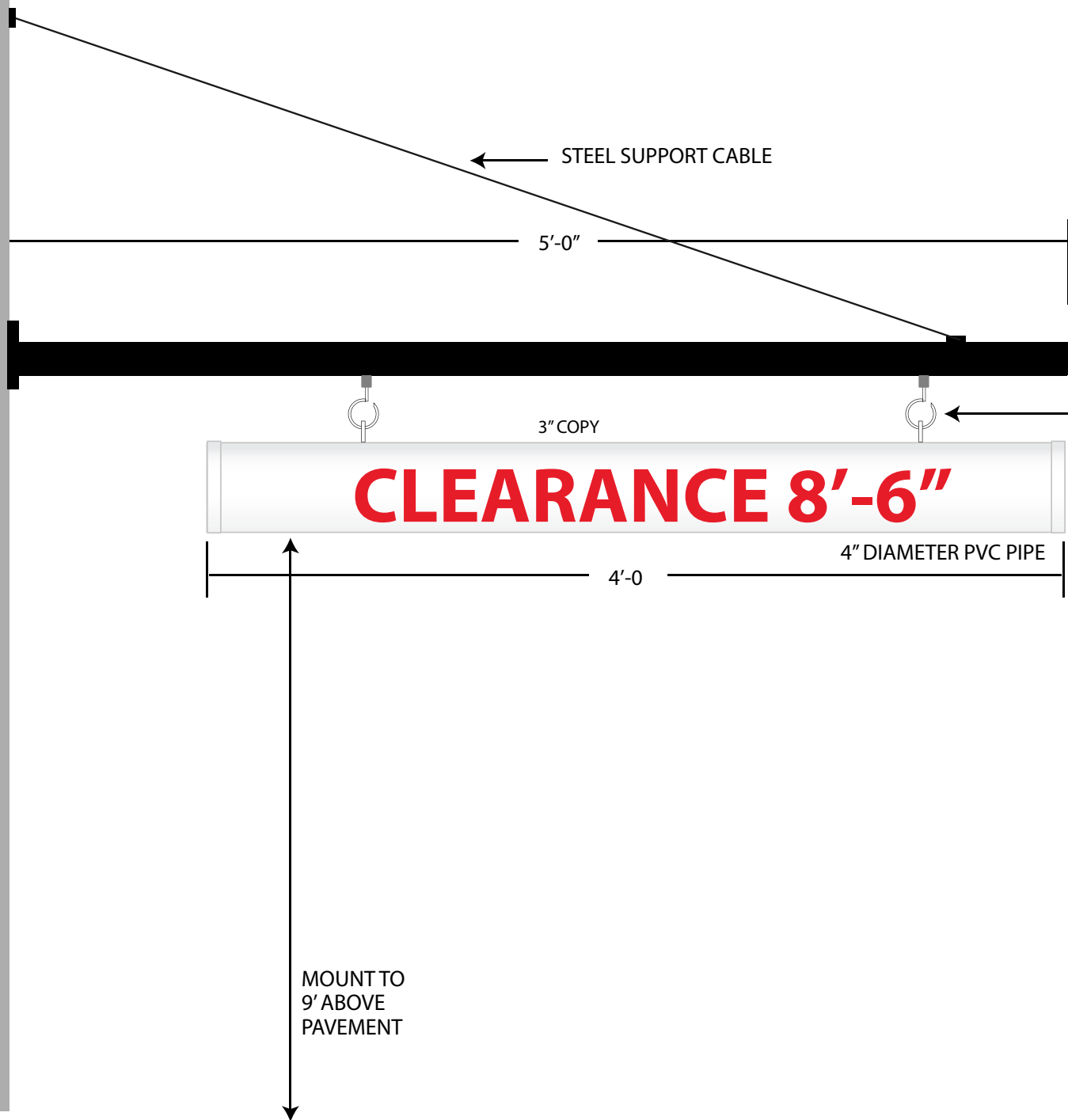
Rev. #	DATE	BY	Rev. #	DATE	BY
Rev. #1	_____	_____	Rev. #4	_____	_____
Rev. #2	_____	_____	Rev. #5	_____	_____
Rev. #3	_____	_____	Rev. #6	_____	_____



DRAWING NO:
7699332377.03A2

DATE: 6.8.2023
S. Hawke

D



2" X 2" X 1/4" STEEL TUBE WITH ENDCAP

3/8" DIAMETER STAINLESS STEEL HOOKS ATTACHED TO STEEL TUBE. ATTACH PVC WITH EYE-BOLT, NUT & WASHERS.

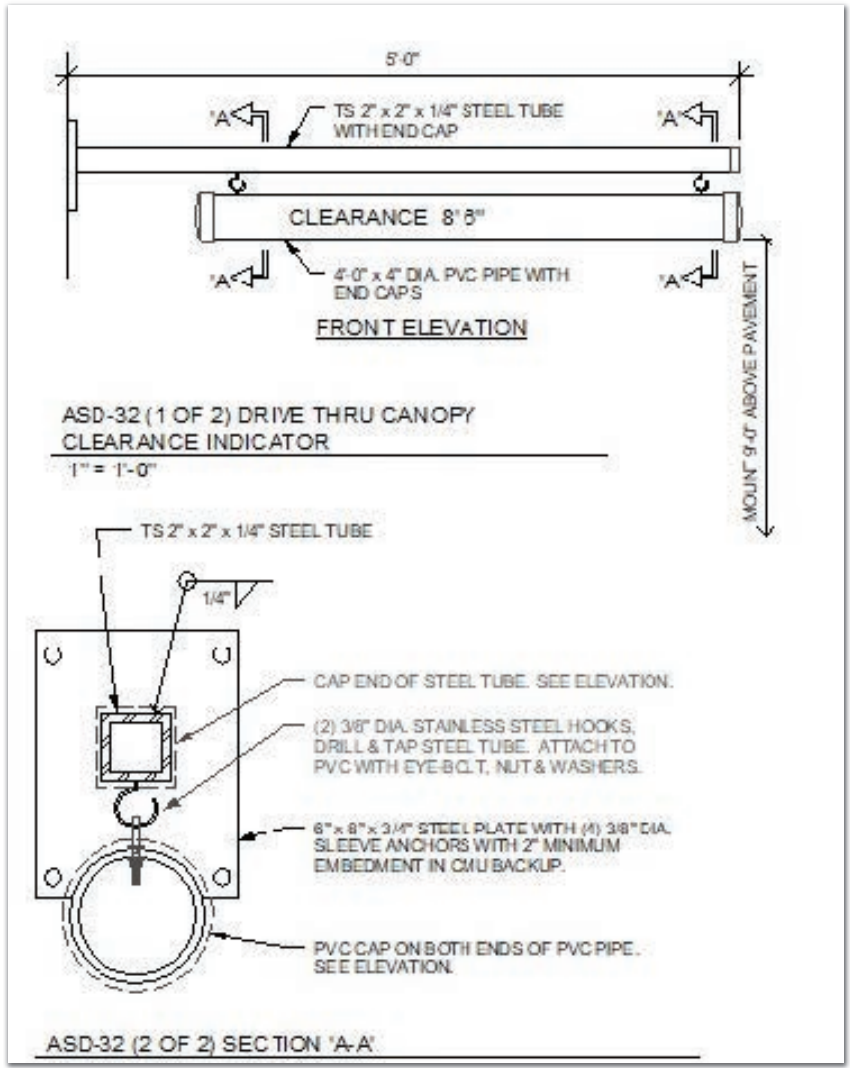
NOTE: CLEARANCE COPY MAY VARY PER SITE. CLEARANCE HEIGHT TO BE VERIFIED PRIOR TO PRODUCTION.

MOUNT BAR 18'-0" BEFORE AWNING/CANOPY ON APPROACH SIDE OF DRIVE THRU. ADJUST HEIGHT OF PVC PIPE ACCORDING TO HEIGHT OF CANOPY.

WHITE PVC PIPE WITH END CAPS
RED VINYL COPY



3M 3630-33 RED



ASD-32 (1 OF 2) DRIVE THRU CANOPY CLEARANCE INDICATOR
1" = 1'-0"

ASD-32 (2 OF 2) SECTION 'A-A'

PART # 403-STEEL-92469



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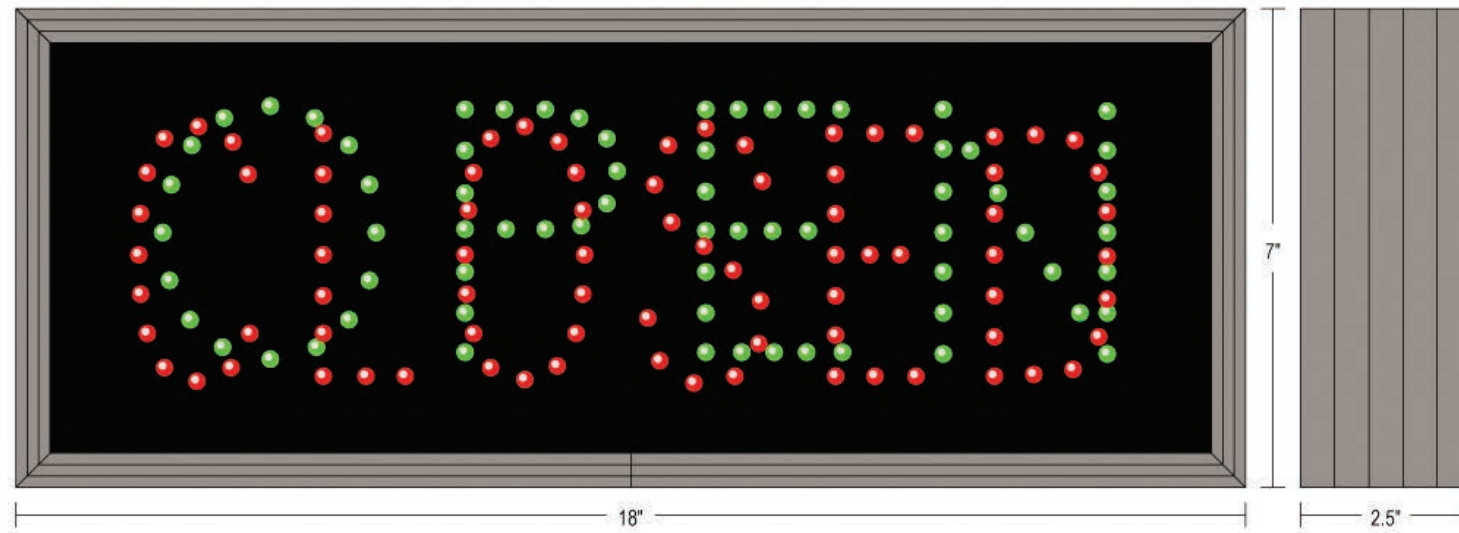
DATE: _____

	DATE	BY	DATE	BY
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Rev. #2	_____	_____	Rev. #5	_____
Rev. #3	_____	_____	Rev. #6	_____



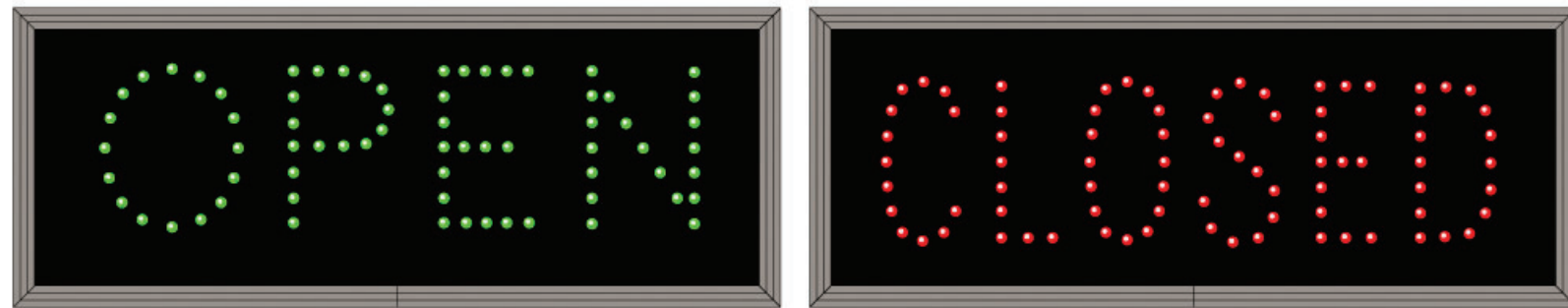
DRAWING NO:
92525.01
DATE 3-4-2019
S. Hawke

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SINGLE FACE LED
ILLUMINATED SIGN.

BRONZE CABINET.
RED AND GREEN LED'S.
POLYCARBONATE FACE.
MESSAGES "BLANK OUT"
WHEN TURNED OFF -
ELIMINATING CONFUSION.



NOTE: THIS SIGN REQUIRES A 120V CONNECTION.
A 277V CONNECTION WILL REQUIRE A
STEP DOWN TRANSFORMER.

403-TCL718GR-100LED



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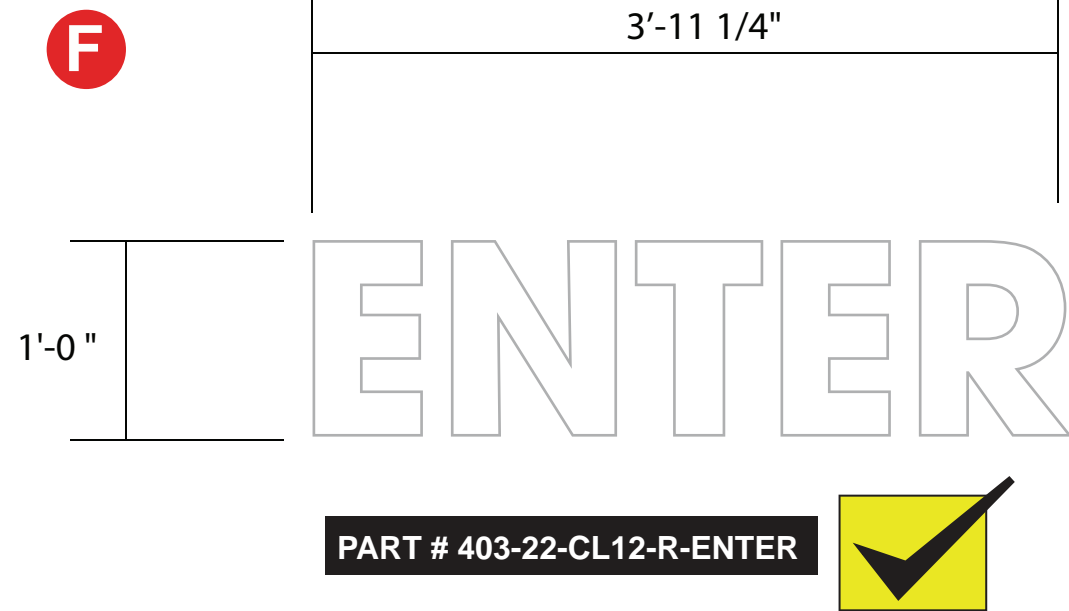
DATE _____

	DATE	BY		DATE	BY
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Rev. #2	10-20-2014	S.H.	Rev. #5	_____	_____
Rev. #3	_____	_____	Rev. #6	_____	_____

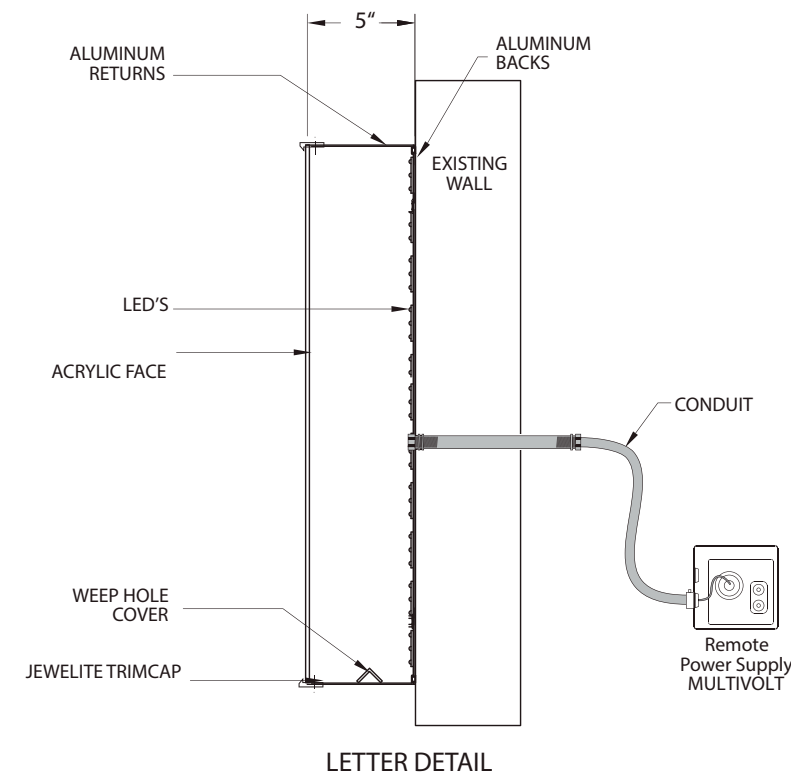





DRAWING NO:
55160
DATE 5-13-09
S. Hawke

REMOTE LETTER SET Preferred

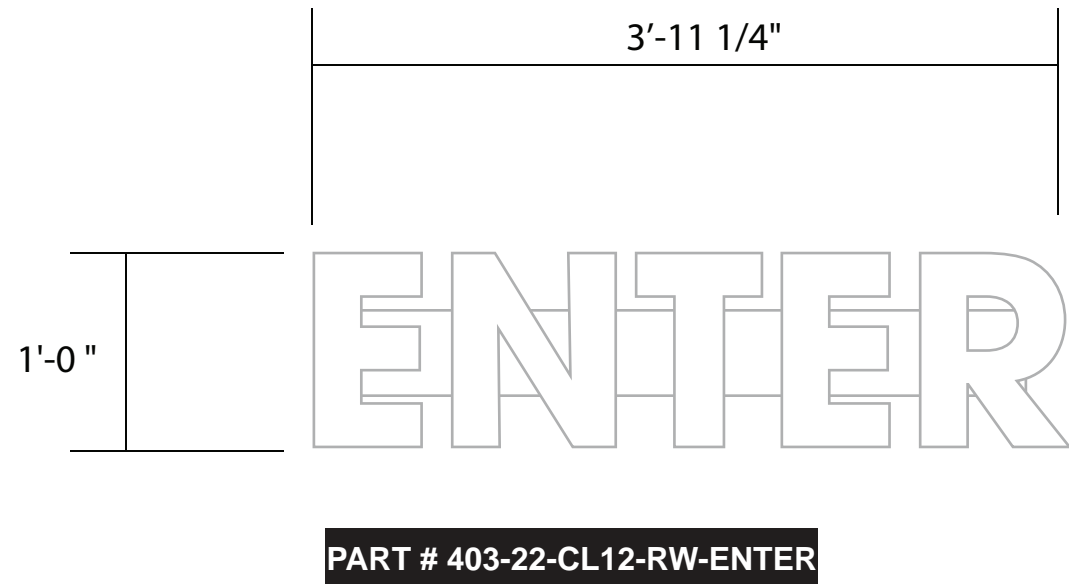


PART # 403-22-CL12-R-ENTER

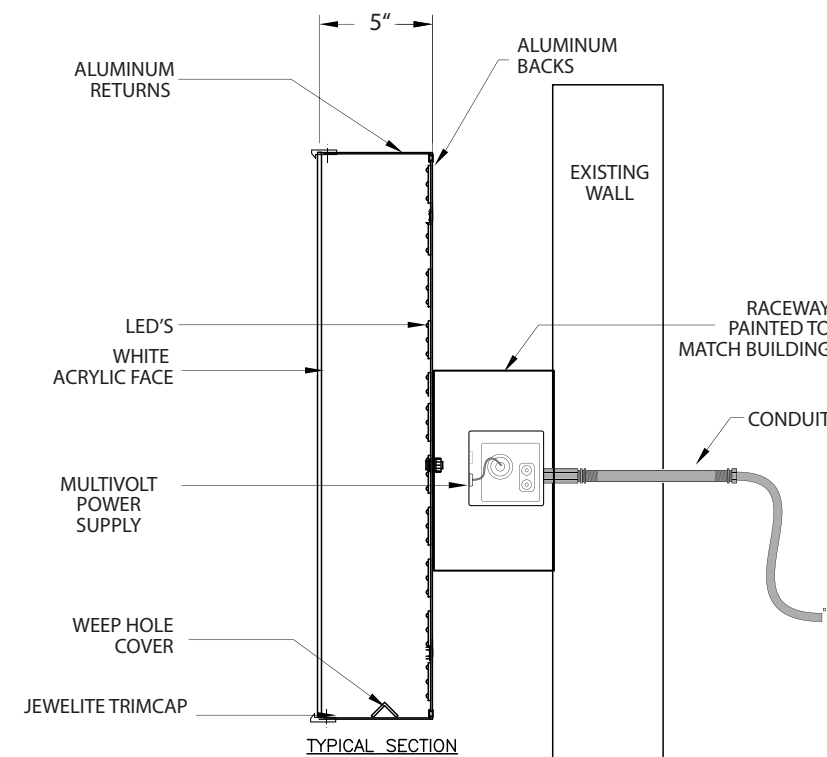





-  WHITE ACRYLIC FACE
-  RETAINER: WHITE
-  FILLER: WHITE

RACEWAY MOUNT LETTER SET Optional - based on conditions



PART # 403-22-CL12-RW-ENTER



-  WHITE ACRYLIC FACE
-  RETAINER: WHITE
-  FILLER: WHITE

3.9 SQ. FT.



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Rev. #2	_____	_____	Rev. #5	_____	_____
Rev. #3	_____	_____	Rev. #6	_____	_____

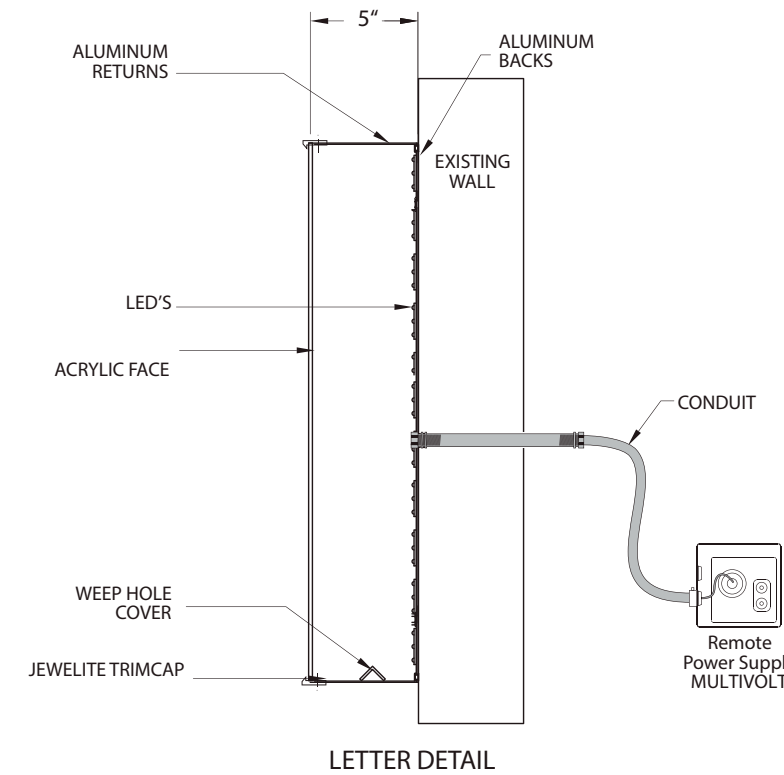
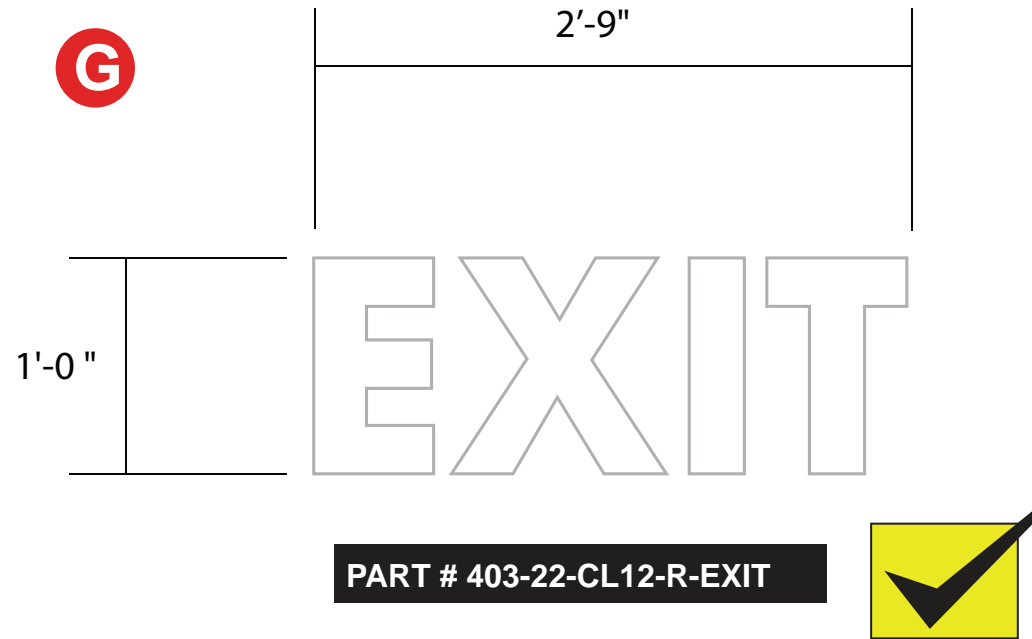


DRAWING NO:
809507286.00A

DATE: 12-16-2021

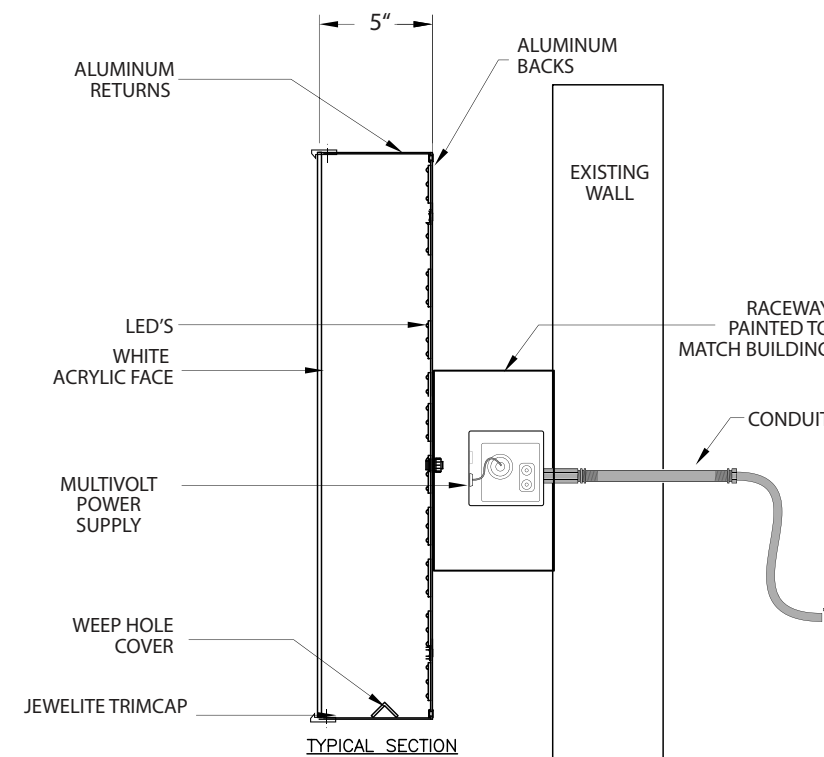
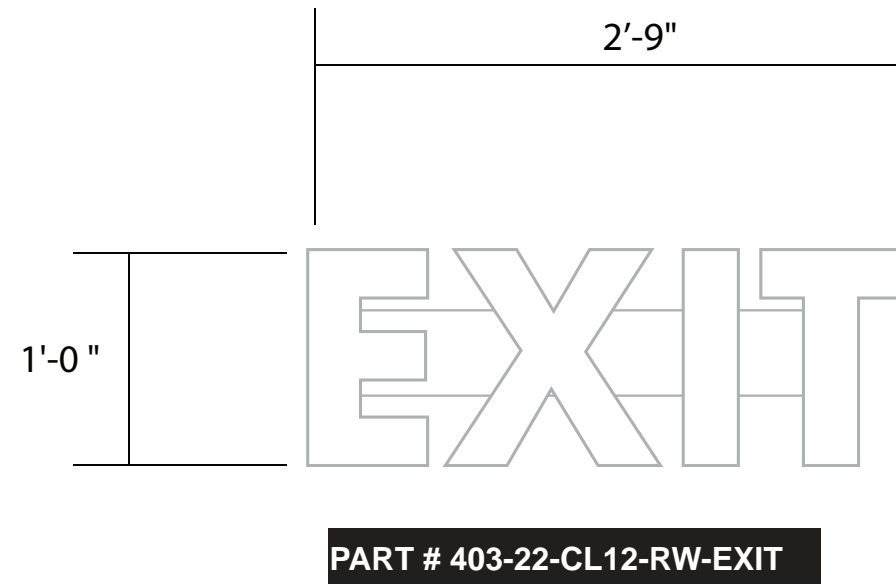
S. Hawke

REMOTE LETTER SET Preferred



- WHITE ACRYLIC FACE
- RETAINER: WHITE
- FILLER: WHITE

RACEWAY MOUNT LETTER SET Optional - based on conditions



- WHITE ACRYLIC FACE
- RETAINER: WHITE
- FILLER: WHITE

2.75 SQ. FT.



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Rev. #	DATE	BY	Rev. #	DATE	BY
Rev. #1	_____	_____	Rev. #4	_____	_____
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DATE: 12-16-2021

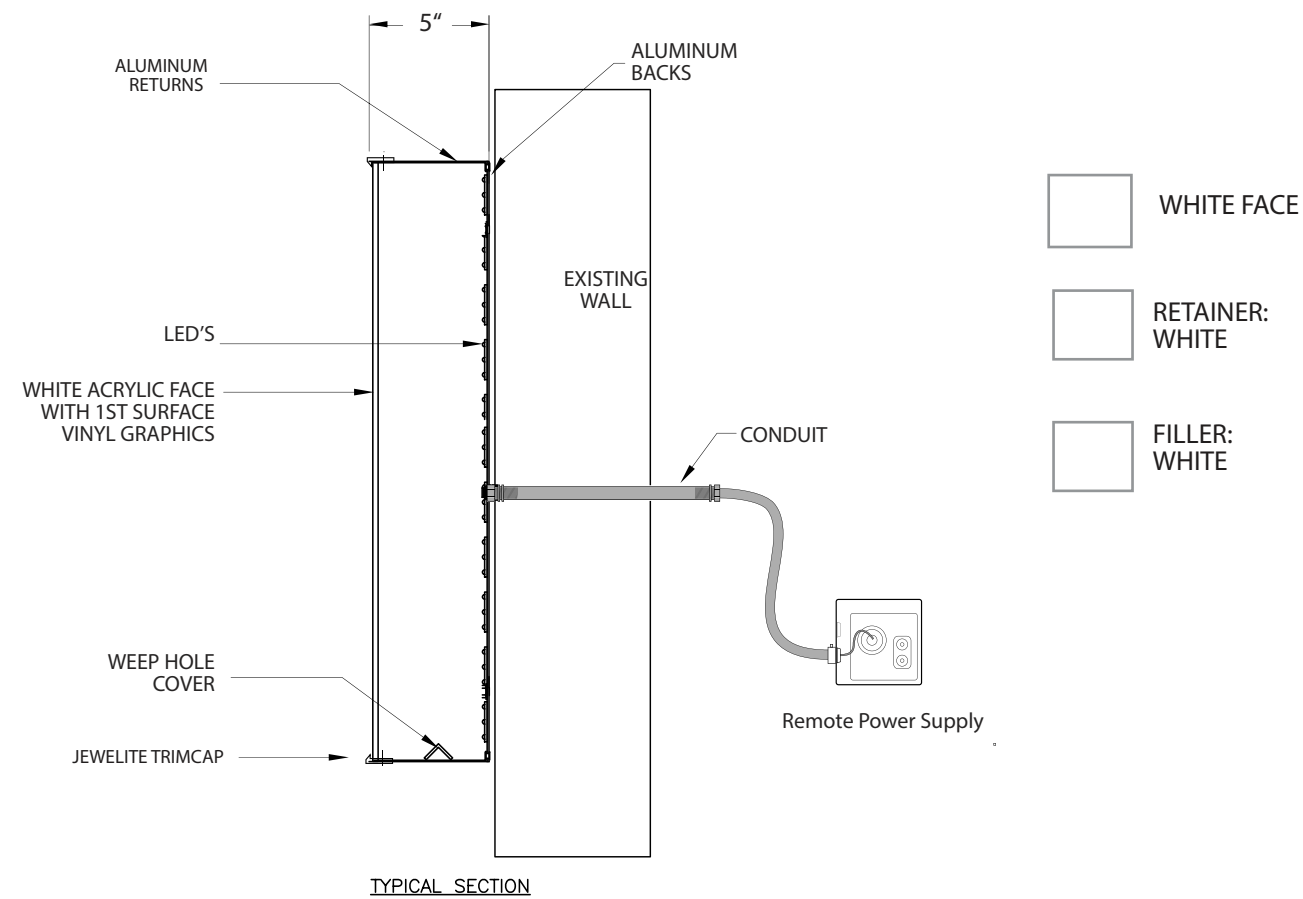
S. Hawke

H

16"

PHARMACY DRIVE THRU

22'-0"



29.3 SQ. FT.



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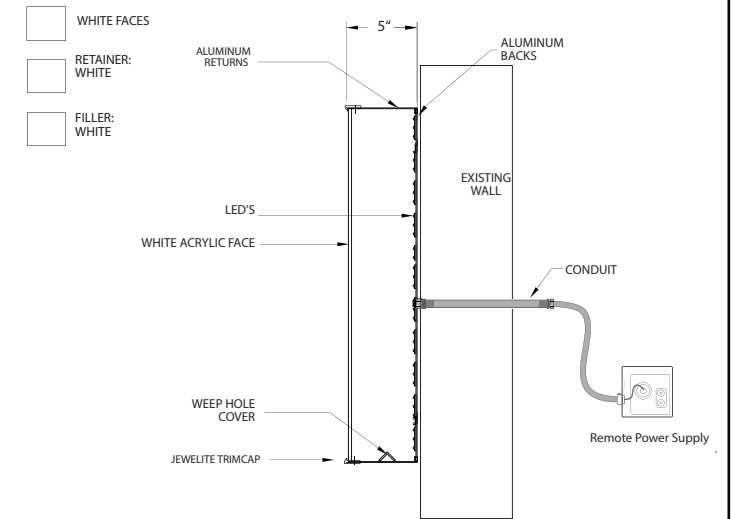


DRAWING NO:
809507172.00A

DATE: 12-10-2021
S. Hawke



- **INTERNALLY ILLUMINATED CHANNEL LETTERS.**
ALUMINUM SIDES & BACK PAINTED WHITE.
WHITE TRIMCAP RETAINER.
FLAT, WHITE POLYCARBONATE FACE
WHITE LED ILLUMINATION.



- FOR USE ON CMU BLOCK OR EIFS SUBSTRATE.
- NOT INTENDED FOR USE ON NEW OR EXISTING BRICK FINISHES WITHOUT EXPRESS APPROVAL FROM G.O. PLANNING AND DESIGN.
- NOT INTENDED FOR USE ON LOCATIONS UNDER LARGE ARCHITECTURAL OVERHANGS OR CANOPIES

WALL PAINTED TO MATCH KROGER BLUE VINYL -



**TYPICAL PAINTED AREA:
PICKUP FRONT ENTRY
DOOR NEAR CORNER -**
CENTERED HORIZONTALLY OVER CANOPY/DOOR AND OR AT LEAST 1'-6" FROM CORNER OF BUILDING.
CREATE PAINT FINISH BREAK ON OPPOSITE SIDE
EQUAL DISTANCE FROM EDGE OF SIGN LEFT & RIGHT.



**TYPICAL PAINTED AREA:
PICKUP FRONT ENTRY
DOOR ON BLANK FACADE -**
CENTERED HORIZONTALLY OVER CANOPY/DOOR.
INSTALLED 8-12" FROM BOTTOM OF CORNICE/COPING - or -
CENTERED VERTICALLY BETWEEN CANOPY OR DOOR AND CORNICE/COPING.
CREATE PAINT FINISH BREAKS 3' MINIMUM FROM EDGE OF SIGNAGE.

SCALE: 1/2" = 1'-0"

63.1 SQ. FT.

PART # 403-23-CL36-PUCRTWH



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Rev. #2	_____	_____	Rev. #5	_____	_____
Rev. #3	_____	_____	Rev. #6	_____	_____



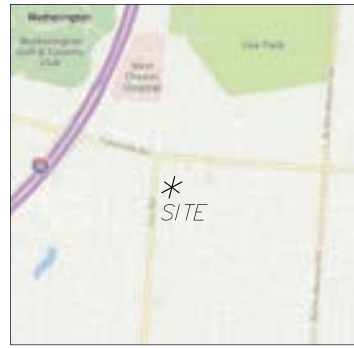
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7699332377.03A1

DATE: 6.8.2023

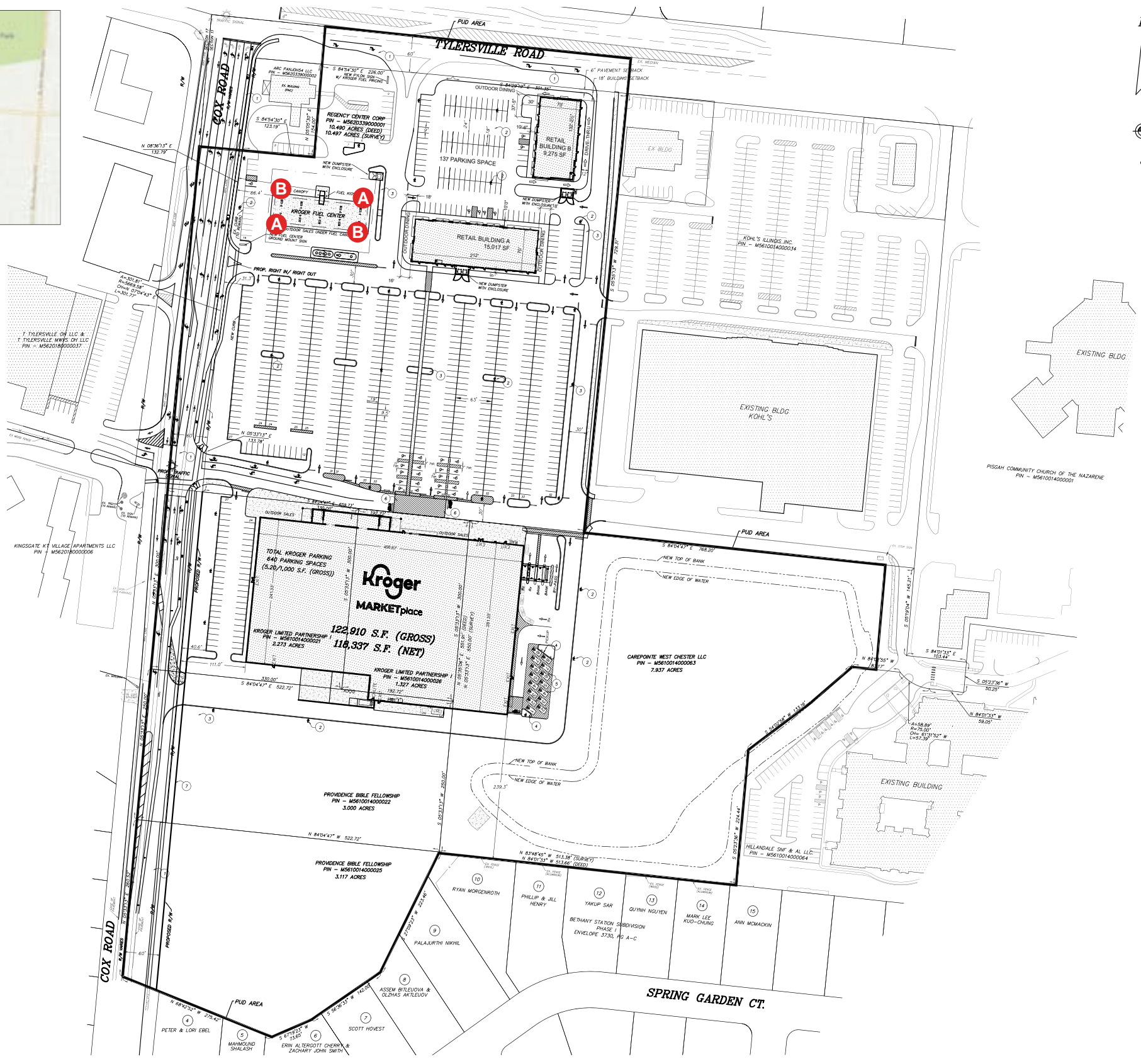
S. Hawke



KROGER #975
Tylersville Rd.
West Chester, OH 45069
1140763284.00 06.13.2023



VICINITY MAP
N.T.S.



QTY.	DESCRIPTION	SQ. FT.
A 2	KROGER LETTER SET W/ CART	18.2
B 2	PRICER SIGN	30.6

KROGER #975
Tylersville Rd.
West Chester, OH 45069



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 DATE: _____

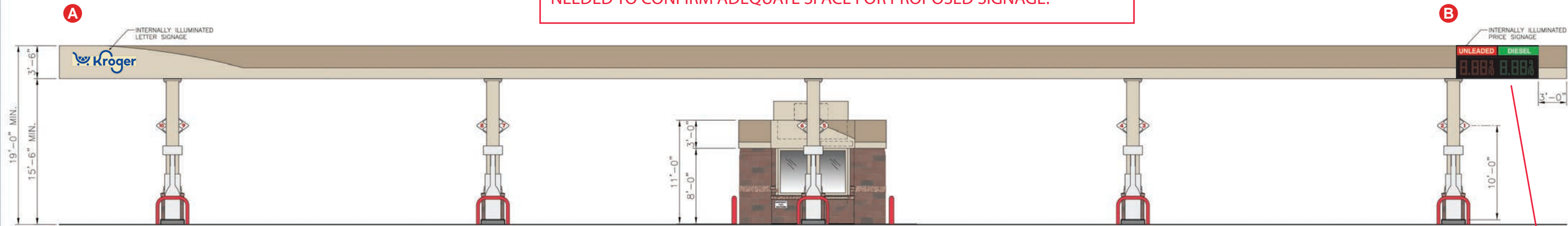
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Rev. #2	_____	_____	Rev. #5	_____
Rev. #3	_____	_____	Rev. #6	_____



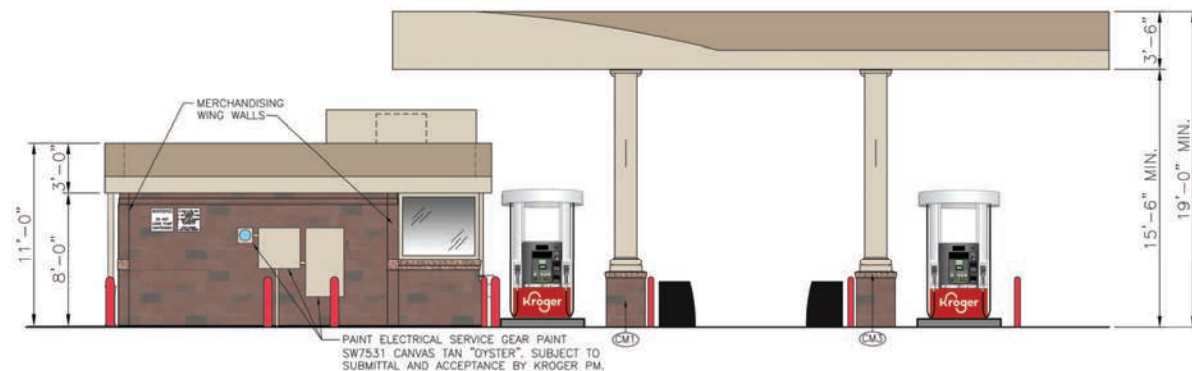
DRAWING NO:
1140763284.00
 DATE: 06.13.2023
 J. Allington

THIS DESIGN REMAINS OUR EXCLUSIVE PROPERTY AND CANNOT BE DUPLICATED WITHOUT WRITTEN CONSENT

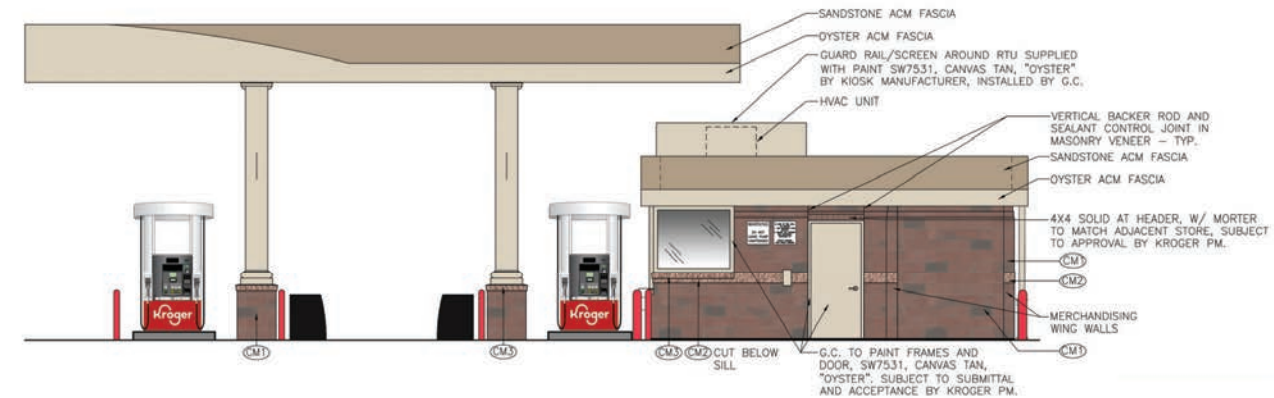
NOTE: ARTWORK IS FOR REPRESENTATIONAL PURPOSES ONLY. A SURVEY IS NEEDED TO CONFIRM ADEQUATE SPACE FOR PROPOSED SIGNAGE.



1 FRONT (SOUTH) ELEVATION
SCALE: 3/16"=1'-0"

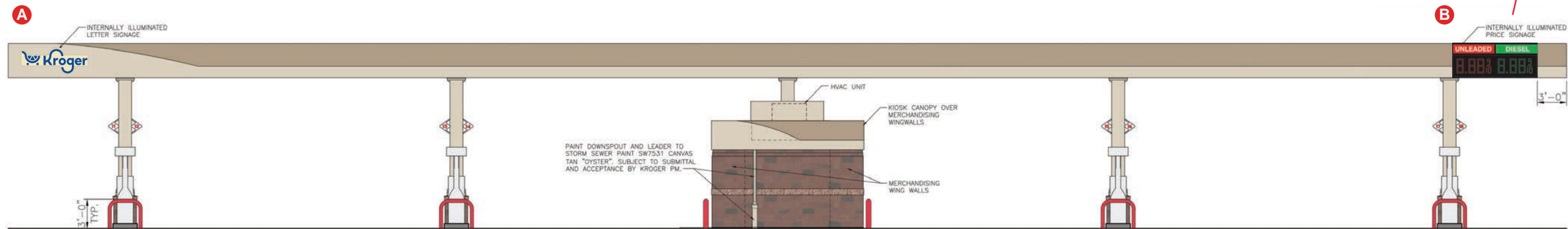


2 LEFT (WEST) ELEVATION
SCALE: 3/16"=1'-0"



3 RIGHT (EAST) ELEVATION
SCALE: 3/16"=1'-0"

PRICER BY OTHERS



4 REAR (NORTH) ELEVATION
SCALE: 3/16"=1'-0"

KROGER #975
Tylersville Rd.
West Chester, OH 45069



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DATE:

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Rev. #1			Rev. #4		
Rev. #2			Rev. #5		
Rev. #3			Rev. #6		

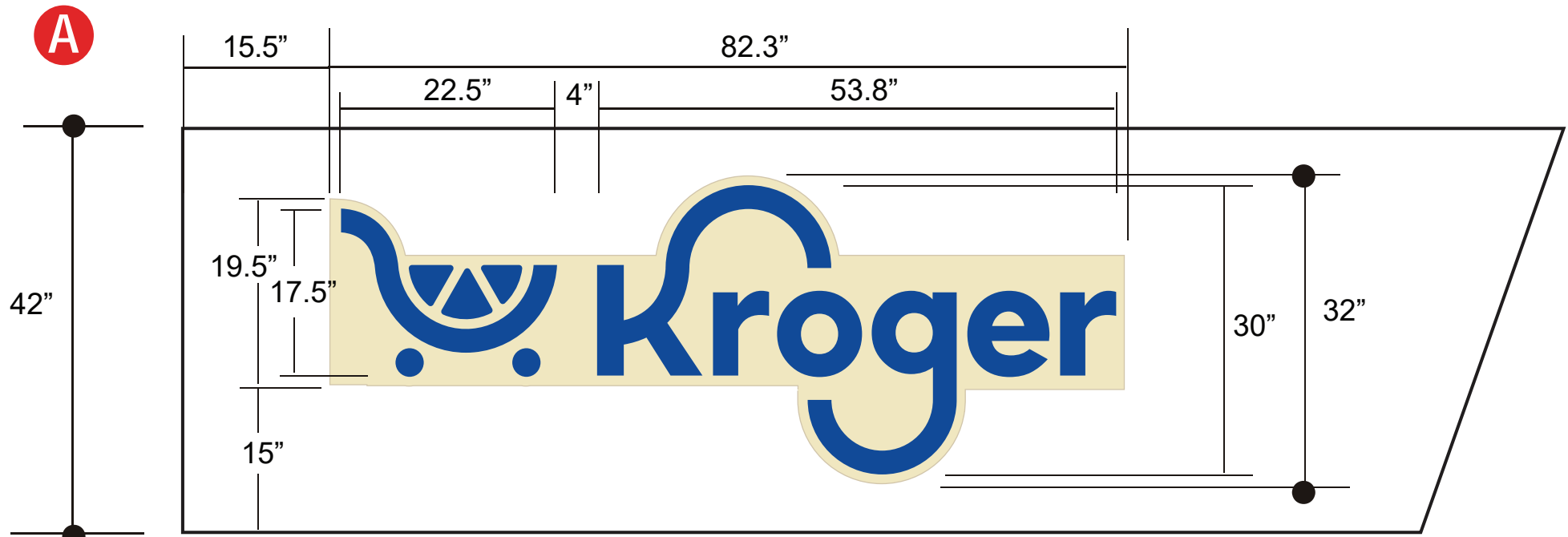


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1140763284.00

DATE: 06.13.2023

J. Allington

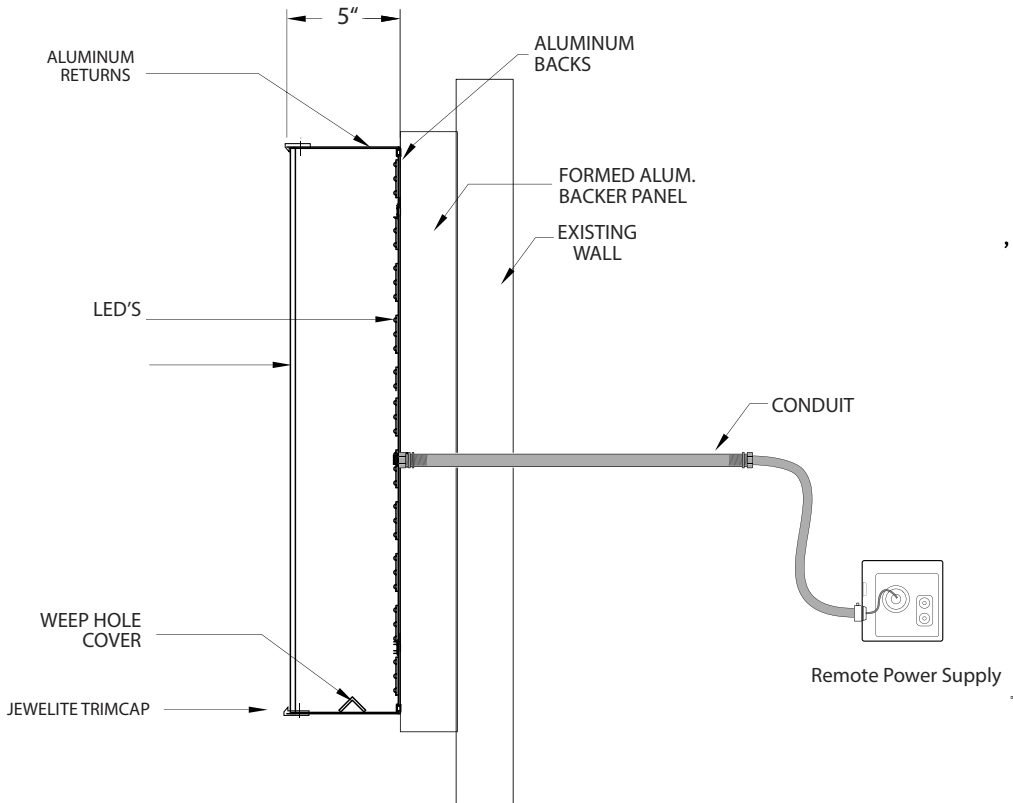
THIS DESIGN REMAINS OUR EXCLUSIVE PROPERTY AND CANNOT BE DUPLICATED WITHOUT WRITTEN CONSENT



FOR INSTALLATION ON STANDARD 42" CANOPY

SCALE: 3/4" = 1'-0"

BEIGE BACKER BEHIND
CART & LETTERS AS ONE PIECE



****Install instructions per SPG requirement - Kroger specifications require secondary wiring on gas canopies to be contained within conduit as provided by Cummings.**



SCALE: 3/8" = 1'-0"

- FACES: WHITE ACRYLIC WITH 1ST SURFACE VINYL - 3730-8537 KROGER BLUE
- RETAINER: KROGER BLUE (PMS 2728C) EXTERIOR QUART FORMULA
- FILLER: KROGER BLUE (PMS 2728C) EXTERIOR QUART FORMULA
- BACKER PANEL: SW7531 - PMS 7534C

PART # T.B.D.

18.2 SQ. FT.



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Rev. #3	_____	_____	Rev. #6	_____



DRAWING NO:
809689509.04A2
DATE: 3.7.2023
S. Hawke

THIS DESIGN REMAINS OUR EXCLUSIVE PROPERTY AND CANNOT BE DUPLICATED WITHOUT WRITTEN CONSENT

B

18in Double Product, Single Face

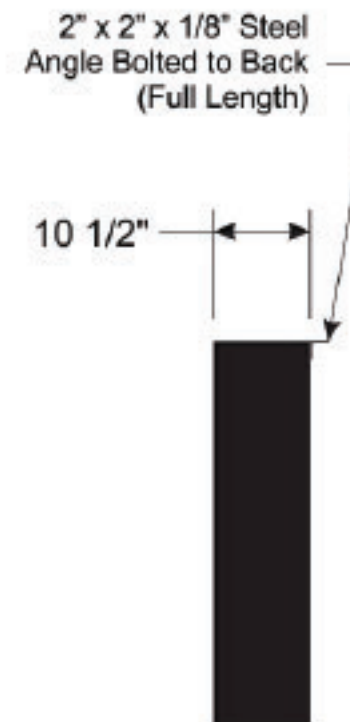
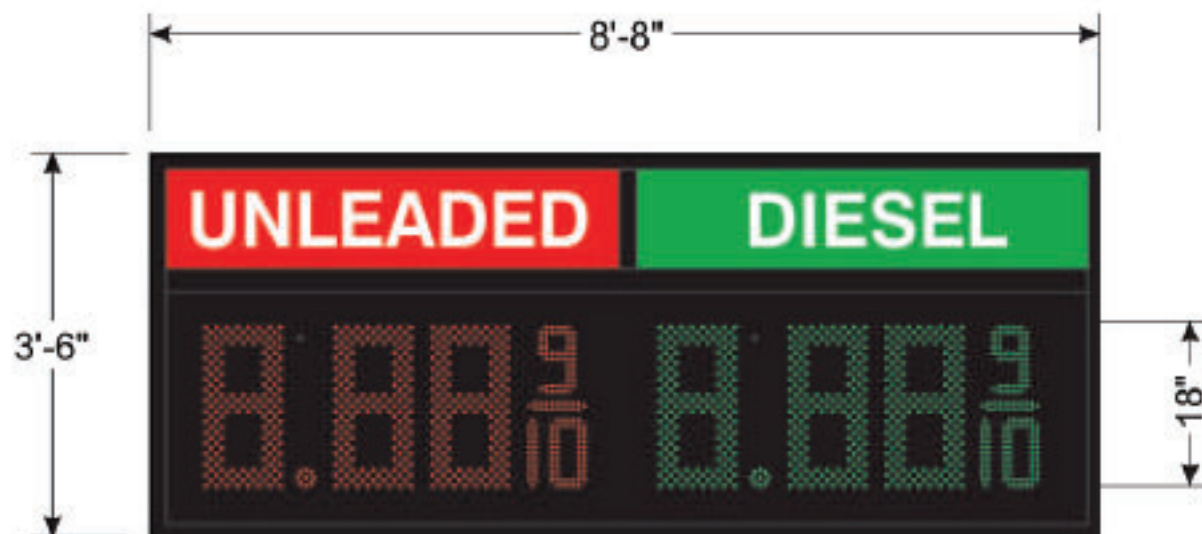
Ariba#: K-0053290

CONSTRUCTION:

- Fabricate a double product S/F LED price sign; using 18" LED units, (1x) red & (1x) green.
- Illumination: 12VDC LED backlighting.
- Cabinet: .080" aluminum painted black.
- Commodity panels:
 - .177" white acrylic decorated with 3M 3630 scotchcal film 1st surface
 - - Red, 3630-33
 - - Green, 3630-26

ELECTRICAL:

120 VAC, Total circuits 2, 10A recommended
 Circuit 1 (LIGHTS) 1A
 Circuit 2 (LED price) 1.5A



ELEVATION
 SCALE: 1/2" = 1'-0"

*Contact Landmark to discuss your specific needs.

SIGN AREA: 30.3 sqft

LANDMARK
 Sign Alliance, Inc.
Working Together For You

Phone: 719.505.5455

Client:
The Kroger Co

Date:
 09/7/2014

Drawn by:
 MLB

Revisions:
 1/28/15; updated notes

Drawing Number:
 140817.2

Sheet:
 1 of 1

Approved:

Notes:

This is an original unpublished drawing created by LM Inc. It is submitted for your personal use in conjunction with a project being planned for you by LM Inc. It is not to be shown to anyone outside your organization, nor is it to be used, copied, reproduced, or exhibited in any fashion.

**WEST CHESTER TOWNSHIP
ZONING COMMISSION
July 17, 2023**

MEMBERS PRESENT: Jose Alvarez, Jim Hahn, Larry Whited

MEMBERS ABSENT: Doug Rinnert, Richard Grow, Brian Asbrock (not-seated)

STAFF PRESENT: Timothy Dawson, Township Planner
Aaron Wiegand, Director
Beverly Worley, Administrative Professional III
Charles Gavin, FBT; Legal Representation

LOCATION: Township Hall

CALL TO ORDER: 6:00 p.m.

Mr. Hahn called the meeting to order. Mr. Dawson called the roll. A quorum was established.

Mr. Whited made a motion to approve the June 21, 2023 minutes, seconded by Mr. Alvarez. Mr. Dawson called the roll. Motion carried 5-0.

Mr. Hahn made a motion to approve RFDP 06-23-A BC TID @ Liberty Way; TriHealth Campus, Signage and Resolution 23-6; Motion carried 3-0.

Mr. Hahn made a motion to approve RFDP 06-23-B Wetherington; United Dairy Farmers and Resolution 23-7; Motion carried 3-0.

Mr. Dawson was sworn in. Mr. Dawson swore in case participants.

RFDP 07-23-A Tylersville Square; Casablanca Mediterranean Market

The applicant is requesting a Revised Final Development Plan approval for a 27,627 s.f. retail/grocer space on 2.43 acres located at 7900 Tylersville Rd.

Mr. Dawson presented the staff report including a PowerPoint presentation, aerials, staff comments, and case history.

Action

The West Chester Township Zoning Commission is to recommend approval, approve with modifications, or deny the submitted Revised Final Development Plan unless additional information is deemed necessary to make an informed decision.

The Board did not have any questions or comments

Applicant **Rob Painter**
 RVP Engineering

Mr. Painter reviewed the small amount of site change with the additional loading dock. Also showed the façade changes.

Andie McBride
Andrea L McBride Architecture

Ms. McBride discussed the color cladding of the building, colors of the existing columns and awnings. Also discussed the color of the billboards/backdrop.

Proponents **None**

Opponents **None**

Neutral **None**

Deliberations

Mr. Whited didn't see any issues with the project.

Mr. Hahn stated the architecture meets all the requirements.

Mr. Alvarez agreed with the previous Board comments.

Mr. Hahn made a motion to approve Case # - RFDP 07-23-A Tylersville Square; Casablanca Mediterranean Market based on staff comments and other agency recommendations. Mr. Alvarez seconded the motion.

Aye: Mr. Whited, Mr. Hahn, Mr. Alvarez

Nay:

Motion carried 3-0

ZMA05-23 West Chester Plaza; Kroger

The applicant is requesting approval for a Zoning Map Amendment from C-PUD (Commercial Planned Unit Development), R-PUD (Residential Planned Unit Development), R-1A (Suburban Residence District) to a new C-PUD (Commercial Planned Unit Development) and a Preliminary Development Plan for a 118,337 s.f. retail/grocer with fuel station, 15,017 s.f. retail building and a 9,275 s.f. retail building on 24.6 acres located at 7840,7900,7938 Cox Rd.

Mr. Dawson presented the staff report including a PowerPoint presentation, aerials, staff comments, and case history.

Action

The West Chester Township Zoning Commission is to recommend approval, approve with modifications, or deny the submitted Zoning Map Amendment/Preliminary Development Plan unless additional information is deemed necessary to make an informed decision.

Mr. Hahn asked for clarification on item number 23 of the resolution.

Mr. Dawson stated that is a condition for consideration.

Mr. Alvarez asked for clarification regarding the bike path that exist along Cox Rd.

Mr. Dawson explained how it's integrated into the roadway and that it will need to be adjusted along with the pedestrian walkway. This will be coordinated at the Final Development Stage.

Mr. Hahn asked if the traffic study was approved by the Butler County Engineers Office and if that included the road widening, signalization and an additional roundabout.

Mr. Dawson stated yes to all and depicted all the above mentioned on the PowerPoint presentation.

Applicant **Anne McBride**
 McBride Dale Clarion (MDC)

Ms. McBride stated she is representing both Kroger Company and Regency Centers Corporation. Ms. McBride expanded on the details of the project which included landscaping (added buffers), lighting (non-existent to very, very low), and the traffic study (approved by Butler County Engineers Office). This development represents a 50 million dollar investment in the Township. Ms. McBride stated they do agree with all of the conditions in the draft resolution; a number of them have already been fulfilled.

Mr. Hahn asked for confirmation that the applicant is agreeable to turning off the signage signs during certain p.m. / a.m. hours.

Ms. McBride said yes they are.

Mr. Whited asked if MDC was doing the roundabout for the expansion.

Ms. McBride replied with that particular piece is still being discussed with the county engineers office and has not been properly identified yet. The roundabout is not part of this project and not a contingency to this project moving forward.

Mr. Alvarez asked if the roundabout is necessary to make the flow happen.

Mr. Dawson stated that Butler County Engineers Office recommended the roundabout. That will be a negotiation between the county and the developer. There will be a better understanding at the Final Development Stage.

Mr. Hahn addressed the audience to explain that this case is a Zoning Map Amendment only. The Zoning Commission Board only makes recommendations. Whether the vote is to recommend or deny; this still goes before the Board of Trustees to make the final decision.

The Zoning Commission Board has no control over traffic. The Township relies on the Butler County Engineers Office, as experts, to work with the applicant's experts to come up with a plan they think is appropriate for the area. Mr. Hahn pointed out that if this project moves forward, this plan will make Cox Road/Kingsgate/Tylersville much safer. The Board cannot rule on this case based on traffic.

Tonight's case is based on approving the zoning map amendment change. Landscaping, lighting and traffic will be addressed at the Final Development Stage.

Proponents **None**

Opponents **Mark McCormick**
7866 Spring Garden Ct.

Mr. McCormick thanked the Board for explaining how the process works. I am a proponent of Kroger. Mr. McCormick questioned as to why there was not a posting/sign outside of the project. He shared his concern regarding traffic/visibility.

Mr. Hahn asked staff if a sign had been put out.

Mr. Dawson stated that typically we post a sign as a courtesy, it is not required. Unfortunately I was not able to do so.

Yi-Chi Lee
7903 Spring Garden Ct.

Mrs. Lee thanked the Board for giving them a chance to speak. Ms. Lee asked that the Board keep in mind as they review the case of how they would feel if they were to have a gas station behind in your backyard. Mrs. Lee shared her concern in regards to traffic, air quality, and noise from all the trucks.

Zachary J. Smith
7983 Spring Garden Ct.

Mr. Smith shared his concern regarding the expansion of the retention pond. He explained how the water actually runs into the residential property yards. He's very concerned about the expansion and where it will run off into.

Mr. Hahn stated that this case is based only on the zoning map amendment. When/if they come back for a Final Development Plan this will all be addressed.

Mr. Smith also shared his concerns regarding traffic.

Yakup Sar
7923 Spring Garden Ct.

Mr. Sar shared his concerns regarding noise levels even at night. He stated that now it seems like the loading dock is coming closer to the properties. Mr. Sar has asked for more trees/plantation to help block the noise.

Yi-Chi Lee
7903 Spring Garden Ct.

Mrs. Lee returned to the podium to ask if residents are just here to express our concerns. She was very concerned about the gas station.

Neutral **None**

Mr. Hahn asked for the applicant's engineer to come to the podium.

Scott Trenkamp
Thomas Graham Assoc.

Mr. Trenkamp stated they were anticipating that drainage would be a concern as it is with any large scale development project and they understand it's difficult to grasp all the elements from an engineer's perspective. For those reasons, they had already prepared a very detailed drainage study and have received preliminary approval from the Butler County Engineer's Office. Mr. Trenkamp discussed what changes will be made and how it will flow away from the residential properties.

Mr. Hahn requested Ms. McBride to return to the podium.

Mr. Hahn asked Ms. McBride to explain the lighting foot candles.

Ms. McBride illustrated the area from the PP presentation that was presented and explained the photometric lighting.

Mr. Hahn asked to address the air quality from the gas station.

Ms. McBride stated that the fuel station is clearly toward Tylersville Rd; not near the residential properties. To her knowledge, Kroger has not had any air quality problems associated with the fuel center. Dumpster locations would be associated with the two retail buildings. Kroger does use a trash compactor. She also explained the buffering between the project and the residential properties.

Deliberations

No further questions from the Board.

Mr. Whited made a motion to approve Case # - ZMA05-23 West Chester Plaza; Kroger based on staff comments and other agency recommendations. Mr. Alvarez seconded the motion.

Aye: Mr. Whited, Mr. Hahn, Mr. Alvarez

Nay:

Motion carried 3-0

Administrative Business:

The Board Appointments are postponed to the August meeting.

The next ZC meeting is scheduled for Monday, August 21, 2023 @ 6:00 p.m. This serves as Public Notice for this meeting.

Mr. Hahn adjourned the meeting at 7:25 p.m.

These Minutes do not purport to be the entire record. A complete transcription of these proceedings was taken under supervision of the Secretary from an audiotape and may be obtained upon written request. Any charges for preparing such transcripts shall be borne by the person requesting same and must be prepaid.

Chairman:

Secretary:

Jim Hahn

Timothy Dawson

**WEST CHESTER TOWNSHIP ZONING COMMISSION
BUTLER COUNTY, OHIO
RESOLUTION NO. 23-8
TYLERSVILLE SQUARE, CASABLANCA MEDITERRANEAN MARKET -
RFDP (07-23-A)**

WHEREAS, on January 24, 1994, the West Chester Township Board of Trustees approved a Zoning Map Amendment from A-1 (Agricultural District) to C-PUD (Commercial Planned Unit Development District) and a Preliminary Development Plan (14-1994), which included a 119,062 retail building, five (5) outlots, one (1) interior lot, and an open space lot along the west property line, which was designated as a landscape buffer on approximately 33.28 acres; and,

WHEREAS, on March 25, 1996, the West Chester Township Zoning Commission approved a Final Development Plan for Sears Hardware retail building on an approximate 2.43 acre outlot; and,

WHEREAS, on November 19, 2012, the West Chester Township Zoning Commission approved a Revised Final Development Plan (12-14) for a Salvation Army Thrift Store with donation bins (44.25" wide x 80" tall x 46.5" deep) to be located along the storefront against the building and under the building overhang, in addition to the removal of the existing iron bars at the north end of the building that enclosed the outdoor storage area; and,

WHEREAS, on June 21, 2023, RVP Engineering submitted an application requesting a Revised Final Development Plan for a 967 square foot addition, bringing the total area to a 27,627 square foot retail/ grocer on approximately 2.43 acres; and,

WHEREAS, on July 17, 2023, the West Chester Township Zoning Commission conducted a public hearing for the aforesaid application.

NOW, THEREFORE BE IT RESOLVED, that the West Chester Township Zoning Commission does hereby adopt and affirm this Resolution and the following conditions, in issuing its approval of the aforesaid case.

- 1.) The current approval shall only grant changes to the subject site. The remaining Tylersville Square C-PUD shall otherwise remain subject to the conditions as previously and last approved.
- 2.) All comments from other reviewing agencies shall be adequately addressed to the satisfaction of the agencies and West Chester Township at the zoning certificate approval process.

3.) The WCTCDD staff shall be authorized to approve minimal revisions to the approved FDP. Any changes to the plan that are required by other reviewing agencies shall be subject to approval by the WCTCDD staff.

BE IT FURTHER RESOLVED, that all plats, plans, applications, and other data submitted are hereby incorporated in this recommendation of approval. This action shall take effect this 17th day of July 2023.

West Chester Township
Butler County

Chairman:

Secretary:

James Hahn

Timothy Dawson,
Township Planner